Quesnel ADU - 05 Kingfisher Cabin

ISSUED FOR BP

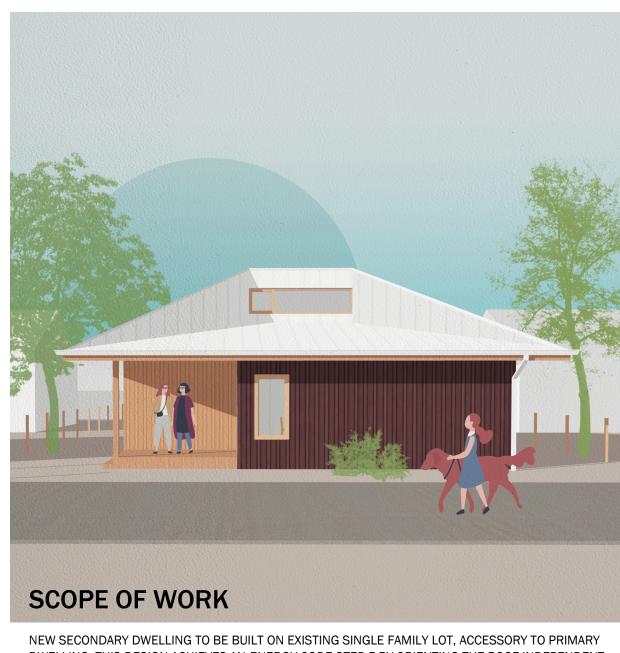


TONY OSBORN ARCHITECTURE + DESIGN INC.

204 - 343 Railway St Vancouver BC V6A 1A4

778 244 4470 www.toad.design

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NEW SECONDARY DWELLING TO BE BUILT ON EXISTING SINGLE FAMILY LOT, ACCESSORY TO PRIMARY DWELLING. THIS DESIGN ACHIEVES AN *ENERGY CODE STEP 5* BY ORIENTING THE ROOF INDEPENDENT OF THE PLAN ORIENTATION.

DUE TO IT'S SQUARE PLAN, THE ROOF CAN ROTATE AT 90 DEGREE INTERVALS TO ENSURE THE CLERESTORY WINDOWS IN THE ROOF FACE SOUTH -- THIS IS A NECESSITY TO MEET THE STEP 5 ENERGY REQUIREMENT.

ENSURE TO FRAME THE SPACE OVER THE KITCHEN-DINING-LIVING AREA IN ROOF RAFTERS TO CREATED A VAULTED CEILING SPACE

ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

PID:

ZONING:

SITE AREA:

DRAWING LIST

K_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
K_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
K_A002 NOTES & SCHEDULES
K_A003 ASSEMBLIES
K_A100 FLOOR PLANS
K_A200 BUILDING ELEVATIONS
K_A300 BUILDING SECTIONS

ENERGY SUMMARY

THIS DESIGN MEETS STEP 5 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS:

(NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

*** ROOF ORIENTATION IS SITE DEPENDANT

ENSURE CLERESTORY WINDOW FACES SOUTH TO MEET STEP 5 REQUIREMENTS

ASSEMBLIES (PER ASSEMBLIES PAGE)

WALLS: R-24 BATT INSUAL. IN 2x6 @ 24" o.c. ROOF: R-50 BATT INSUL. IN 2x12 @ 24" o.c. EXPOSED FLOOR: n/a
FOUNDATION WALLS: 8" CONCRETE w/ R-22 ICF BLOCK

SLAB ON GRADE:

AIR LEAKAGE:

3" EPS (R-12) FULL SLAB

1 ACH

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)
U 1.2 SHGC 0.3
VIYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S

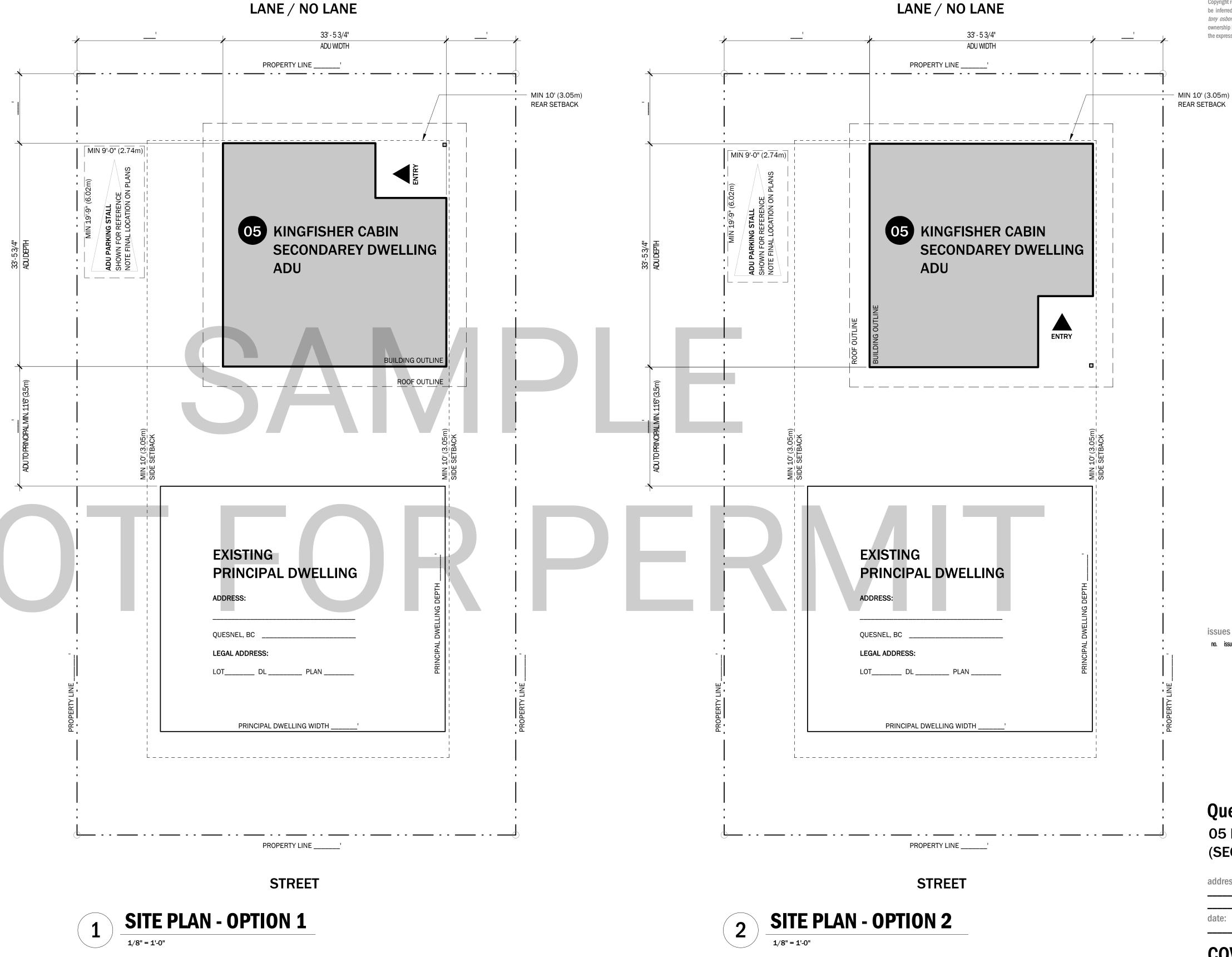
HVAC

HEATING/ COOLING: HEAT PUMP 9HSPF 16 SEER - MODELING ASSUMES A COLD

CLIMATE HEAT PUMP

HOT WATER: ELECTRIC TANK 0.9ER

VENTILATION: HRV 21I/s



Quesnel ADU

05 KINGFISHER CABIN
(SECONDARY DWELLING)

issues / revisions:

no. issue / revision

dress: project no.

COVER SHEET & SITE PLAN OPTIONS 1 & 2

K_A000

Quesnel ADU - 05 Kingfisher Cabin

ISSUED FOR BP



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DUE TO IT'S SQUARE PLAN, THE ROOF CAN ROTATE AT 90 DEGREE INTERVALS TO ENSURE THE CLERESTORY WINDOWS IN THE ROOF FACE SOUTH -- THIS IS A NECESSITY TO MEET THE STEP 5

ENSURE TO FRAME THE SPACE OVER THE KITCHEN-DINING-LIVING AREA IN ROOF RAFTERS TO CREATED

ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

SCOPE OF WORK

PID:

SITE AREA:

ZONING:

DRAWING LIST

K_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2 K_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4 K_A002 NOTES & SCHEDULES K_A003 ASSEMBLIES K_A100 FLOOR PLANS K_A200 BUILDING ELEVATIONS K_A300 BUILDING SECTIONS

ENERGY SUMMARY

THIS DESIGN MEETS STEP 5 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS: (NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

*** ROOF ORIENTATION IS SITE DEPENDANT

ENSURE CLERESTORY WINDOW FACES SOUTH TO MEET STEP 5 REQUIREMENTS

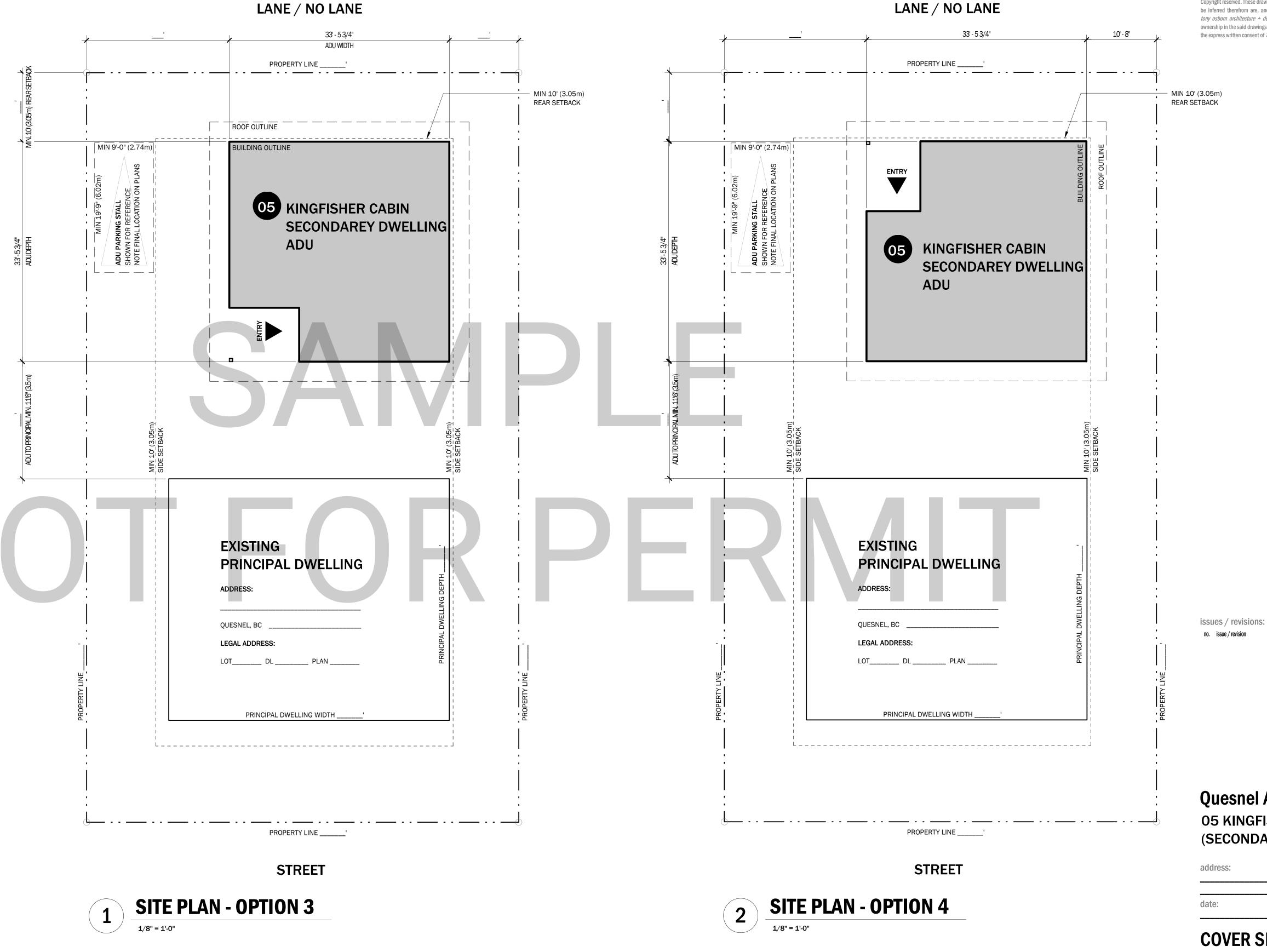
ASSEMBLIES (PER ASSEMBLIES PAGE)

R-24 BATT INSUAL. IN 2x6 @ 24" o.c. ROOF: R-50 BATT INSUL. IN 2x12 @ 24" o.c. EXPOSED FLOOR: FOUNDATION WALLS: 8" CONCRETE w/ R-22 ICF BLOCK

3" EPS (R-12) FULL SLAB SLAB ON GRADE: AIR LEAKAGE:

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE) VIYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S

HEATING/ COOLING: HEAT PUMP 9HSPF 16 SEER - MODELING ASSUMES A COLD CLIMATE HEAT PUMP HOT WATER: ELECTRIC TANK 0.9ER VENTILATION: HRV 21I/s



Quesnel ADU 05 KINGFISHER CABIN (SECONDARY DWELLING)

no. issue / revision

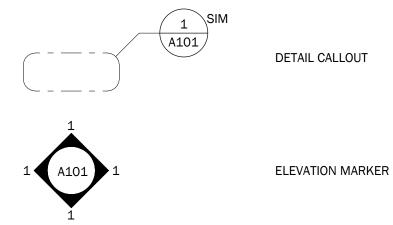
COVER SHEET & SITE PLAN OPTIONS 3 & 4

K_A001

ABBREVIATIONS

N/A NOT APPLICABLE ADJ ADJUSTABLE NIC NOT IN CONTRACT A.F.F. ABOVE FINISHED FLOOR ALUM ALUMINUM NUMBER AMB AIR & MOISTURE BARRIER NTS NOT TO SCALE ANN ANNUNNCIATOR PANEL o.c. ON CENTRE ANOD ANODIZED OVERFLOW DRAIN ARCH ARCHITECTURAL O.D OVER HEAD B/B OPPOSITE BACK TO BACK BD BOARD OPN'G OPENING BUILDING GRADE OS OVERFLOW SCUPPER OWSJ OPEN WEB STEEL JOIST BLDG BUILDING BLKG BLOCKING BOT / BTM BOTTOM PKG PARKING PLAM PLASTIC LAMINATE B.O. BOTTOM OF PL PLATE B/S BOTH SIDES PLY PLYWOOD CATCH BASIN PTD PAINTED CLOSED CELL POWCO POWDER COATED CORNER GUARD PT PRESSURE TREATED CG CJ CONTROL JOINT P&S PEEL & STICK (SEE SAM) CENTRE LINE CL CLR RB RUBBER BASE CLEAR R.C.B. RUBBER COVE BASE C.O. CONCRETE OPENING RD ROOF DRAIN COL COLUMN CONC CONCRETE R.O. ROUGH OPENING CONT CONTINUOUS REQ`D REQUIRED c/w COMPLETE WITH REQ'T REQUIREMENT RET'N RETENTION DD DECK DRAIN REV REVERSE DRINKING FOUNTAIN RM ROOM RWL RAIN WATER LEADER DIM DIMENSION DN DOWN DWG DRAWING SAM SELF ADHERED MEMBRANE (PEEL & STICK) E/A EXHAUST AIR SECT SECTION E.G. EXISTING GRADE SIM. SIMILAR EXPANSION JOINT SPEC SPECIFICATION ELEC ELECTRICAL SQUARE SQ STAINLESS STEEL EL / ELEV ELEVATION EQ. EQUAL STL STEEL STD STANDARD EQUIP/EQP EQUIPMENT E/S EACH SIDE STRUC STRUCTURAL EX / EXSTG EXISTING EXP. EXPANSION T.O. TOP OF EXT'R EXTERIOR TYP TYPICAL TRANS'N TRANSITION FD FLOOR DRAIN TWS TACTILE WARNING SURFACE F.D.C FIRE DEPARTMENT CONNECTION UNO UNLESS NOTED OTHERIWSE (OR CABINET) F.E.C FIRE EXTINGUISHER CABINET U/S UNDERSIDE FOIL FACED F.G. FINISHED GRADE VB VAPOUR BARRIER / RETARDER VCT VINYL COMPOSITION TILE FIN. FINISH FLR FLOOR VERT. VERTICAL VOSAM VAPOUR-OPEN SELF-ADHERED FR FALL RESTRAINT MEMBRANE FRM'G FRAMING GAUGE w/ WITH GALV GALVANIZED w/o WITHOUT GALVANIZED IRON WWM WELDED WIRE MESH GLAZING GSM GALVANIZED SHEET METAL GWB GYPSUM WALL BOARD / DRYWALL **MATERIALS** HOSE BIBB ALUMINUM HORIZ HORIZONTAL HR HOUR ALUMINUM-CLAD VINYL HRX / HR EXT HANDRAIL EXTENSION ANODIZED BAR GRATE HSS HOLLOW STEEL SECTION HOT WATER TANK EXPANDED METAL MESH **FIBERGLASS** G / GLZ GLASS (TEMPERED) INSIDE DIAMETER (OR INTERIOR DESIGN INTERPOLATED GRADE WIRED GLASS **INSULATED** INSUL. INSULATION PAINT

SYMBOL LEGEND



BUILDING SECTION MARKER

SECTION MARKER

GRID LINE

102000 NAME T.O. FLOOR

SPOT ELEVATION MARKER

NORTH ARROW

ROOM TAG

REVISION CLOUD

Room name

CHAINLINK (GALVANIZED)

FROSTED GLASS (TEMPERED) POWDER COATED

PRESSED STEEL FRAME PREFINISHED PRESSED METAL SOLID CORE WOOD STL STEEL

STG GALVANIZED STEEL STAINED WOOD VINYL W WOOD

05 - KINGFISHER WINDOW SCHEDULE

5' - 0"

2' - 6"

6' - 8"

2' - 0"

5' - 0"

2' - 6"

10' - 0"

1' - 4"

5' - 0"

5' - 0"

LANDSCAPE ARCHITECT

Type Mark

LG

LOC

LONG

MAX MAXIMUM

MECH MECHANICAL

MINIMUM

M.O. MASONRY OPENING

LOCATION

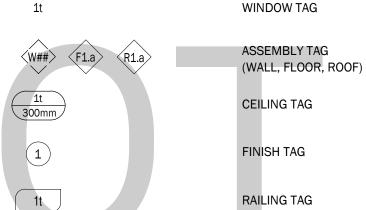
LANDSCAPE

LEVEL MARKER

REVISION TAG

101 150 SF 20R@61/2" 10 T @ 11"

STAIR TAG DOOR TAG



FINISH TAG RAILING TAG

DRAWING TITLE

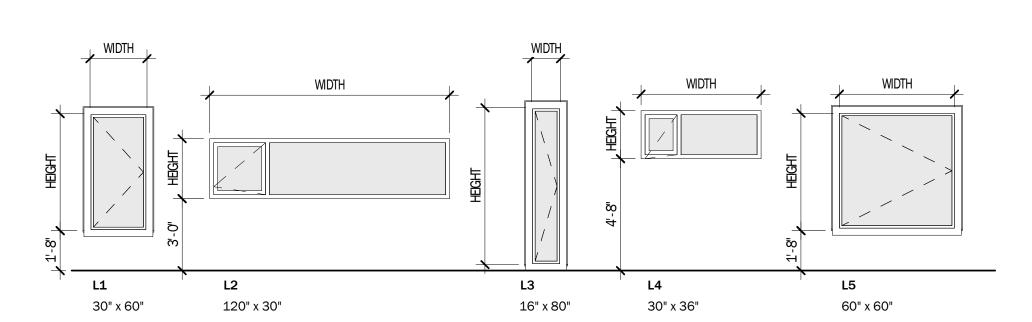
SMOKE DETECTOR SMOKE & CO2 DETECTOR

View Name

REQUIRED WINDOW SPECs: DOUBLE GLAZED

LOW-E ARGON FILLED

U 1.2 SHGC 0.3



Head Height

6' - 8"

5' - 6"

6' - 8"

6' - 8"

6' - 8"

Count

1

1

1

Sill Height

1' - 8"

3' - 0"

0' - 0"

4' - 8"

1' - 8"

GENERAL NOTES

1 THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED

2 ALL WORK CARRIED OUT SHALL CONFORM TO BC BUILDING CODE 2018 (AND/OR APPLICABLE BYLAWS & REGULATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION). 3 ALL PLANS MUST BE CHECKED AND APPROVED BY A QUALIFIED STRUCTURAL ENGINEER; AND SOIL ENGINEER IF NECESSARY.

4 CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER. 5 DESIGNER ASSUMES NO LIABILITY FOR ERROR, OMISSION, DEFICIENCY, DESIGN OR STRUCTURAL FLAW

6 DO NOT SCALE DRAWINGS.

7 CONTRACTOR IS RESPONSIBLE FOR ON SITE LOCATION OF BUILDING AND SERVICES. BUILDING SETBACKS TO BE CONFIRMED WITH SURVEYOR PRIOR TO CONSTRUCTION.

8 ALL CONCRETE FORMWORK, SHORING FOR THE EXCAVATION AND UNDERPINNING OF ADJACENT STRUCTURES, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED IN ACCORDANCE WITH W.C.B. REGULATIONS. 9 CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO

MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES. 10 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE, AND W.C.B.

11 OPENING SIZES FOR MANUFACTURED COMPONENTS TO BE VERIFIED WITH EACH INDIVIDUAL

SUPPLIER OR MANUFACTURER. 12 PROVIDE ALUM. / GALV. STEEL FLASHING OVER ALL EXTERIOR WALL OPENINGS, DOORS, WINDOWS, PARAPETS, ROOF CURES, AND AROUND ALL ROOF PENETRATIONS.

13 CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS. 14 ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH

CONTINUOUS CLOSED CELL POLYETHYLENE DAMP-PROOFING STRIPS. 15 PROVIDE MINIMUM 8" CLEARANCE BETWEEN FINISHED GRADE AND STUCCO, WOOD, OR ANY

16 FACTORY BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO ULC S 610, "STANDARD FOR FACTORY BUILT FIREPLACES".

17 PROVIDE CONTINUOUS MIN. 4" DIA. PERFORATED PLASTIC DRAIN PIPE WITH MIN. 6" CLEAN GRAVEL COVER TO ENTIRE PERIMETER OF BUILDINGS. CONNECT ALL ROOF, PATIO / DECK, PORCH, PARKING, AND FOUNDATION DRAINAGE TO STORM SEWER.

18 PROVIDE 2 LAYERS OF BITUMINOUS DAMP-PROOFING OVER CONCRETE FOUNDATION WALLS IN CONTACT WITH GRADE, DOWN TO FOOTING.

19 CEILING INSULATION SHALL NOT OBSTRUCT SOFFIT VENTILATION. STOPS OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND

UNDERSIDE OF ROOF ASSEMBLY. 20 FACTORY BUILT GLASS / PLASTIC SKYLIGHTS SHALL MEET PERFORMANCE REQUIREMENTS

OF CGSP 63-GP-14M. 21 ALL GLAZING EXTENDING LESS THAN 12" ABOVE FINISHED FLOOR SHALL BE TEMPERED.

22 EXCEPT FOR SPRINKLERED BUILDINGS, PROVIDE WINDOW ACCESS TO THE EXTERIOR FOR ALL BEDROOMS CONFORMING TO BCBC SENTENCE 9.7.1.3 & 9.7.1.4. 23 SMOKE ALARMS TO COMPLY WITH BCBC 9.10.19 & 9.36.2.20. INSTALL SMOKE ALARM /

CARBON MONOXIDE DETECTOR CONFORMING TO ULC-S531 "STANDARD FOR SMOKE ALARMS" TO EACH STOREY.

24 PROVIDE MECHANICAL VENTILATION SYSTEM AT LEAST ONE HALF AN AIR CHANGE PER

25 ALL WALLS DIMENSIONED FROM FACE OF SHEATHING, DRYWALL, OR CONCRETE. 26 WHERE SHOWN, MILLWORK AND CABINETS DIMENSIONED FROM FACE OF DRYWALL.

27 GRID LINES ARE TO FACE OF CONCRETE, SHEATHING, OR DRYWALL.

28 EXTERIOR WALL SHEATHING TO ALIGN WITH FACE OF CONCRETE.

05 - KINGFISHER DOOR SCHEDULE

6' - 8"

6' - 8"

6' - 8"

6' - 8"

6' - 8"

6' - 8"

SCW

SCW

SCW

SCW

2' - 8"

2' - 10"

2' - 8"

2' - 10"

6' - 0"

1' - 10"

6' - 0"

K2

K3.1

K3.2

K3.3

K3.4

Frame Material

W

INTERIOR DOORS

Count

K3.1

SOLID WOOD CORE

FLUSH SWING DOOR

K3.2

SOLID WOOD CORE

FLUSH SWING DOOR

Finish

29 FRAMING LUMBER TO BE D.FIR #2 OR BETTER.

30 STRUCTURAL CONCRETE TO BE 25MPa. 31 PER BCBC 2018 9.19.1.2, PROVIDE VENTING OF ROOF CAVITY VIA UNOBSTRUCTED VENT AREA NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. ROOF VENTS TO BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING.

ENERGY COMPLIANCE:

THIS PROJECT IS DESIGNED TO COMPLY & EXCEED STEP 5 OF THE BC ENERGY STEP CODE

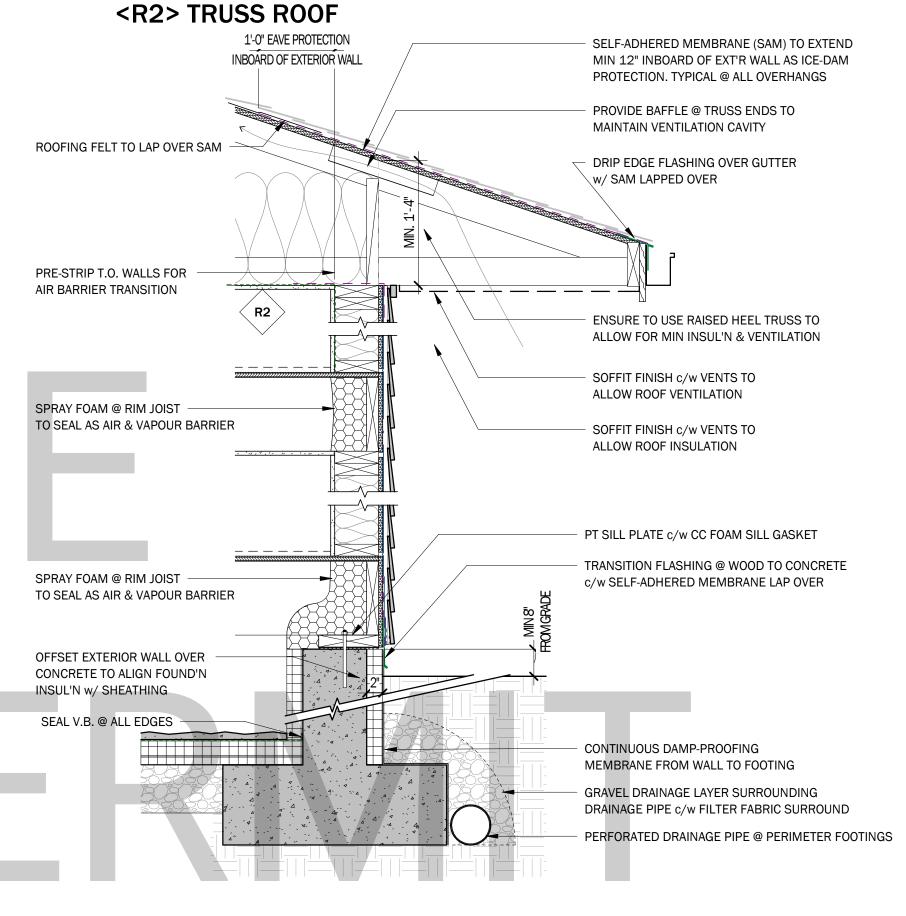
AREAS SUMMARY:

1033.6 sf TOTAL DWELLING incl. STORAGE 80.7 sf

SELF-ADHERED MEMBRANE (SAM) TO EXTEND MIN 12" INBOARD OF EXT'R WALL AS ICE-DAM EAVE PROTECTION. TYPICAL @ ALL OVERHANGS 1'-0" EAVE PROTECTION INBOARD OF EXTERIOR WALL PROVIDE BAFFLE @ RAFTER ENDS TO MAINTAIN VENTILATION CAVITY ROOFING FELT TO LAP OVER 2x6 OVERHANG RAFTERS SISTERED UP TO MAIN ROOF RAFTERS & SOFFIT HORIZ'L TO MATCH OTHER OVERHANGS WEATHERPROOF FASCIA BOARD & METAL GUTTER PRE-STRIP T.O. WALLS FOR AIR BARRIER TRANSITION \langle R1 \rangle - DRIP EDGE FLASHING OVER GUTTER w/ SAM LAPPED OVER <R1> RAFTER ROOF

SOFFIT FINISH c/w VENTS TO

ALLOW ROOF VENTILATION

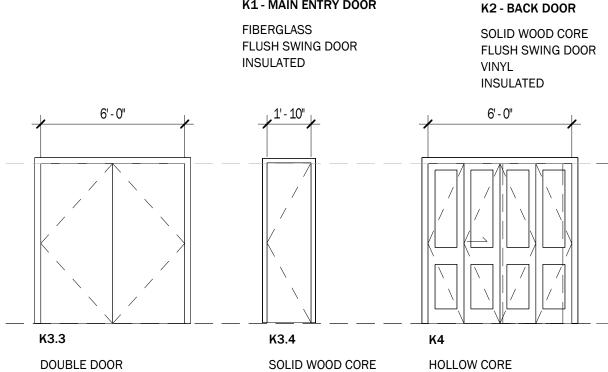






SOLID WOOD CORE

FLUSH SWING DOOR



FLUSH SWING DOOR

4 PANEL BI-FOLD DOOR

Quesnel ADU 05 KINGFISHER CABIN (SECONDARY DWELLING)

issues / revisions:

no. issue / revision

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project no. scale: As indicated

NOTES & SCHEDULES

K_A002

W/ CLEAR SEALANT)

AIR & MOISTURE BARRIER

1/2" CROSS STRAPPING SOFFIT FINISH c/w VENTS

PRE-ENG TJI OR 2x10 WOOD JOISTS @ 24" o.c. R-28 BATT INSULATION BETWEEN JOISTS

VAPOUR BARRIER

WALL ASSEMBLIES WE1

(P1)

P2

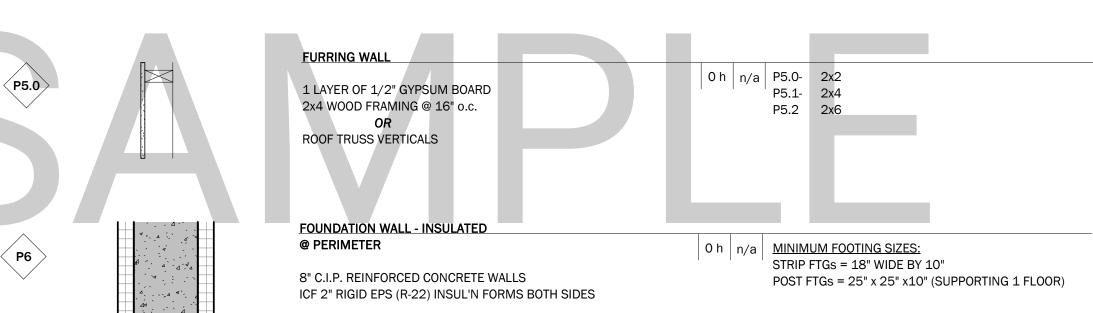
P3

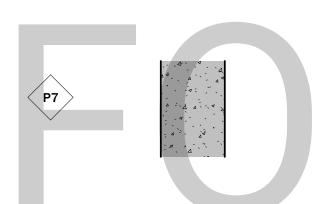
EXTERIOR WALL (RATED) 0 h | n/a | PRE-STRIP AIR BARRIER @ TOP PLATE OF WALL TRANSITION FROM WALL TO ROOF CLADDING PER ELEVATIONS (AIR TO AIR & VAPOUR BARRIER) 1/2" x 2" PT EXT'R GRADE PLYWOOD STRAPPING @ 16" o.c. INSTALLED OVER STUDS c/w INSECT SCREENS @ TOP & BTM OF CAVITY AIR & MOISTURE BARRIER [TYVEK OR SIM] - TAPE ALL JOINTS 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 24" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL UV RATED POLY VAPOUR BARRIER

FRR STC Remarks / Reference

1/2" GWB **TYPICAL INTERIOR 2x4 PARTITION WALL** 0 h | n/a | GWB AT INTERIOR FACE OF WASHROOMS TO BE: 1/2" GWB PAPERLESS GWB, OR 2x4 WOOD STUDS @ 16" o.c. TILE BACKER BOARD AT TILED AREAS 1/2" GWB ADD BATT INSULATION AROUND WASHROOMS

INTERIOR 2x6 (PLUMBING) PARTITION WALL \mid 0 h \mid n/a \mid GWB AT INTERIOR FACE OF WASHROOMS TO BE: 1/2" GWB PAPERLESS GWB, OR 2x6 WOOD STUDS @ 16" o.c. TILE BACKER BOARD AT TILED AREAS 1/2" GWB INTERIOR 2x6 PARTITION WALL - GARAGE SEPERATION 0 h n/a 5/8" TYPE 'X' GWB 2x6 WOOD STUDS @ 16" o.c. R- BATT INSULATION VAPOUR BARRIER 1/2" GWB





FOUNDATION WALL - UNINSULATED 8" C.I.P. REINFORCED CONCRETE WALLS

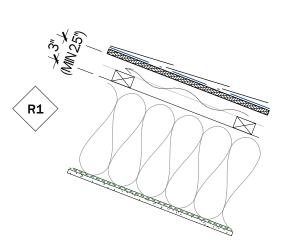
SLOPED ROOF - VAULTED CEILING (R50)

0 h | n/a | MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)

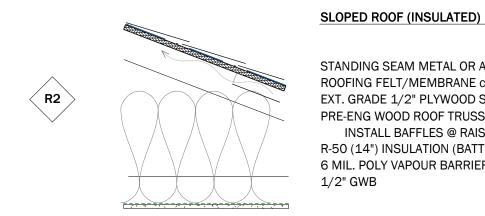
ROOF TYPES

FRR STC Remarks

0 h n/a



STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION 1/2" EXT. GRADE PLYWOOD SHEATHING 3" (MIN 2.5") AIR GAP 2 LAYERS 2x3 ON FLAT CROSS STRAPPING ENSURE ADEQUATE VENTING @ PERIMETER & RIDGE 14" PRE-ENG TJI RAFTERS OR PARALLEL CHORD TRUSSES R-50 MIN. (14") BATT INSULATION 6 MIL. POLY AIR & VAPOUR BARRIER 1/2" GWB



0 h n/a STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION EXT. GRADE 1/2" PLYWOOD SHEATHING PRE-ENG WOOD ROOF TRUSSES @ MAX. 24" o.c. INSTALL BAFFLES @ RAISED HEELS TO ALLOW INSULATION & ADEQUATE VENTING R-50 (14") INSULATION (BATT OR BLOWN IN) 6 MIL. POLY VAPOUR BARRIER

GENERAL CONSTRUCTION NOTES

- 1. SITE CONDITIONS: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. REPORT ALL SITE DISCREPANCIES IN WRITING TO DRAWING CONSULTANT.
- 2. <u>DIMENSIONS:</u> ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
- 3. CONFORMANCE: WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BC BUILDING CODE 2018 AND ALL PROVINCIAL CODES & MUNICIPAL BYLAWS.
- 4. <u>CONSTRUCTION SAFETY:</u> THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
- INSURANCES: THE CONTRACTOR SHALL MAINTAIN AT HIS COST ALL NECESSARY INSURANCES INCLUDING THOSE ASKED FOR BY THE PROPRIETOR. THE PROPRIETOR SHALL INFORM HIS FIRE INSURANCE CO. OF WORK TO BE DONE.
- 6. SITE PREPARATION: INSTALL TEMPORARY DUSTPROOF PARTITIONS & ACCESS AROUND THE WORK
- 7. <u>DEMOLITION:</u> CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS. SUPPLY TEMPORARY SUPPORTS WHERE REQUIRED AS PER CODES & NORMS. REPAIR ADJACENT SURFACES.
- 8. MATERIALS: ONLY NEW MATERIALS SHALL BE USED. ALL MATERIALS SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- 9. <u>SCHEDULING:</u> IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE TO DRAWING CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 10. WINDOWS AND DOORS ARE NOTED AS NOMINAL SIZES, ROUGH OPENINGS TO BE CONFIRMED WITH MANUFACTURER REQUIREMENTS.
- 11. SHOP DRAWINGS: FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS
- 12. BACKING: PROVIDE BACKING IN STUD SPACE TO MECHANICALLY FASTEN GRAB BARS, HANDRAILS, GUARDRAILS, WALL-MOUNT ACCESSORIES, SHELVING & DISPLAY SYSTEMS TO SEISMIC AND STRUCTURAL REQUIREMENTS.
- 13. ELECTRICAL SERVICE: ELECTRICAL INFORMATION ON DRAWINGS IS FOR LAYOUT PURPOSES ONLY. ELECTRICAL CONTRACTOR TO ASSESS EXISTING SERVICE AND CONDITION. PROVIDE MODIFICATIONS AND UPGRADES TO SERVICE TO ACCOMMODATE PROPOSED DESIGN AS REQUIRED.
- 14. <u>ELECTRICAL PERMITS:</u> PROVIDE ELECTRICAL PERMIT FOR ELECTRICAL WORK INDICATED ON DRAWINGS. SUBMIT PERMIT & INSPECTION REPORTS TO ARCHITECT (AND CONSULTANT IF APPLICABLE).
- 15. <u>ELECTRICAL PANELS</u>, FIRE EXTINGUISHER CABINETS, ETC. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS & RECESSED CABINETS OR FIXTURES.
- 16. FIRE SEPARATIONS: THE DEMISING WALLS ARE TO REMAIN AS EXISTING. IT IS THE OWNER'S RESPONSIBILITY THAT THE FIRE RATING OF THE DEMISING WALLS ARE THE MINIMUM RATING AS REQUIRED BY THE CURRENT BUILDING CODE AND ALL CURRENT PROVINCIAL & MUNICIPAL BYLAWS
- 17. FIRE RATING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND MAINTAIN THE FIRE RATING OF THE STRUCTURAL ELEMENTS REQUIRED BY ALL CURRENT PROVINCIAL CODES &

INTERIOR WALL GENERAL NOTES

- ALL INTERIOR PARTITIONS ADJACENT TO WATER CLOSETS TO HAVE BATT INSULATION FULL HEIGHT FOR SOUND ATTENUATION.
- 2. LEVEL 4 FINISH ON ALL INTERIOR GWB SURFACES (LEVEL 4 JOINT COMPOUND ON JOINTS AND SCREW HEADS ONLY, SANDED SMOOTH)
- 3. APPLY MILDEW RESISTANT SEALANT AROUND ALL WET AREAS INCLUDING BUT NOT LIMITED TO THE KITCHEN, BATH AND LAUNDRY TO FORM WATERTIGHT SEALS AROUND ALL FIXTURES, VANITIES, COUNTERTOPS, FAUCETS, DRAINS, ETC.
- 4. ALL ACCESSIBLE AND ADAPTABLE UNITS TO HAVE 1/2" PLYWOOD LET INTO STUDS FROM 24" AFF TO 5'-0" AFF FOR GRAB BAR AND ACCESSORY MOUNTING IN WASHROOM

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no. issue / revision

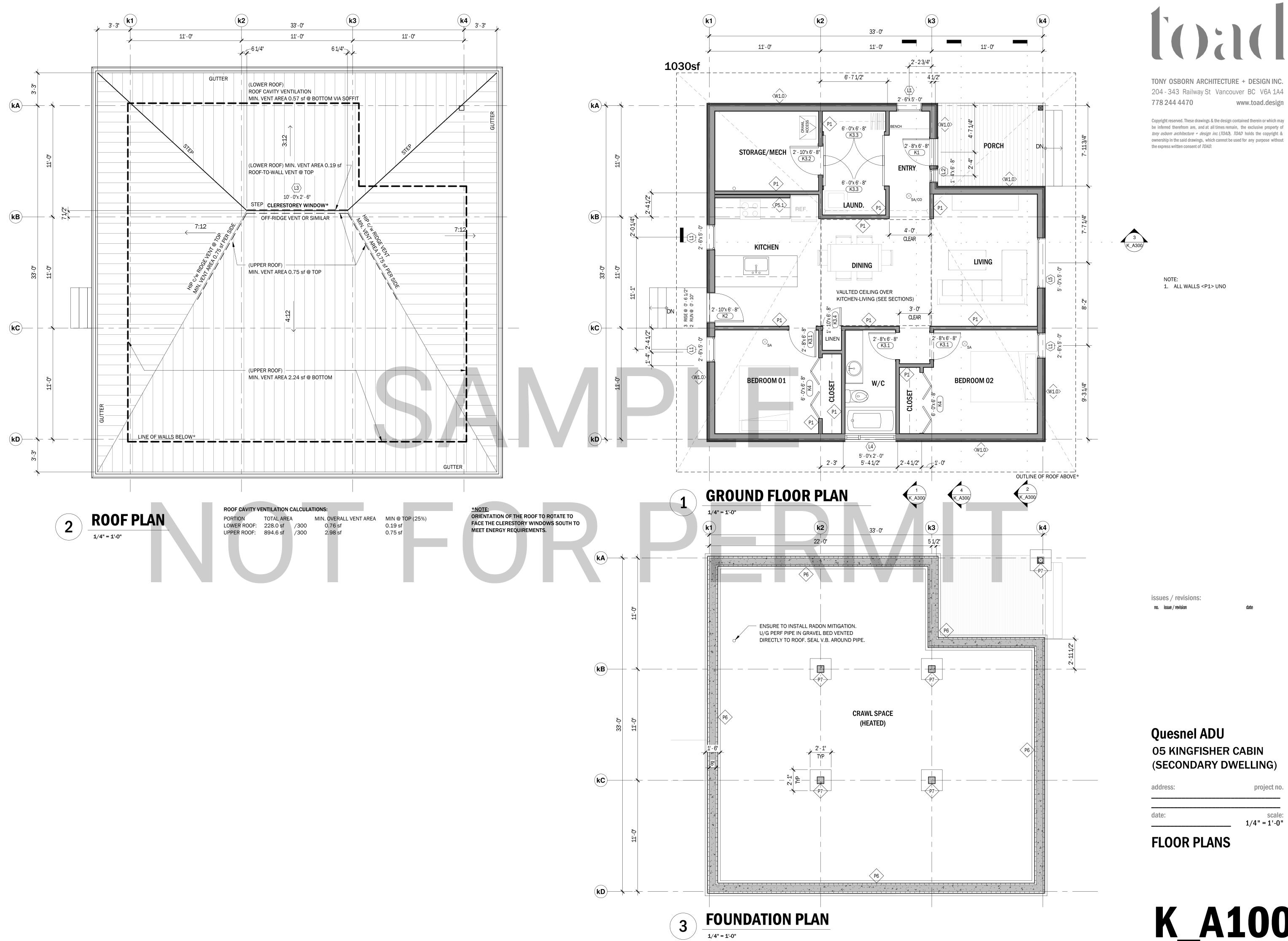
issues / revisions:

Quesnel ADU 05 KINGFISHER CABIN (SECONDARY DWELLING)

ddress:			project n

1" = 1'-0"

ASSEMBLIES



K_A100

1/4" = 1'-0"

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17.31' [17' - 4"]

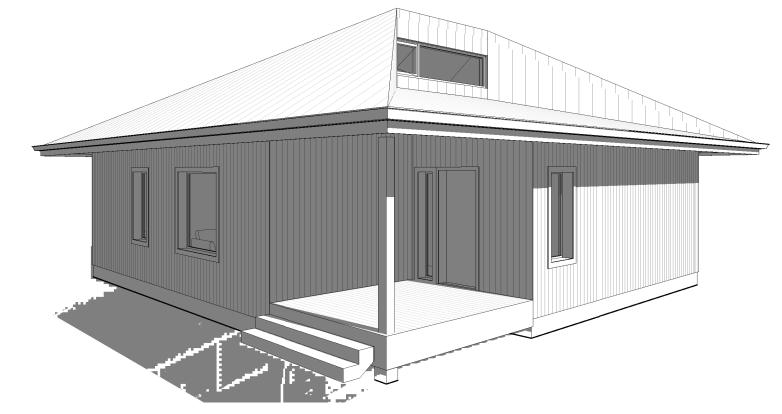
0.00' [0' - 0"]

-1.69' [-1' - 8"] K - GRADE

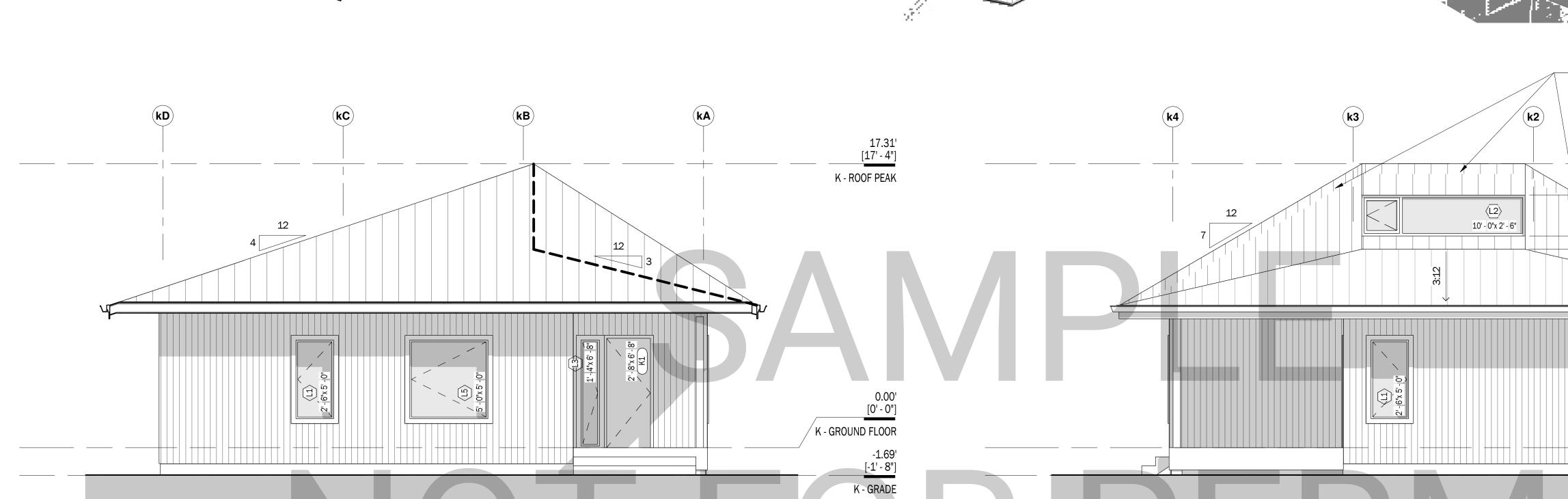
K - GROUND FLOOR

*ROOF ORIENTATION IS SITE DEPENDANT ENSURE CLERESTORY WINDOW FACES SOUTH

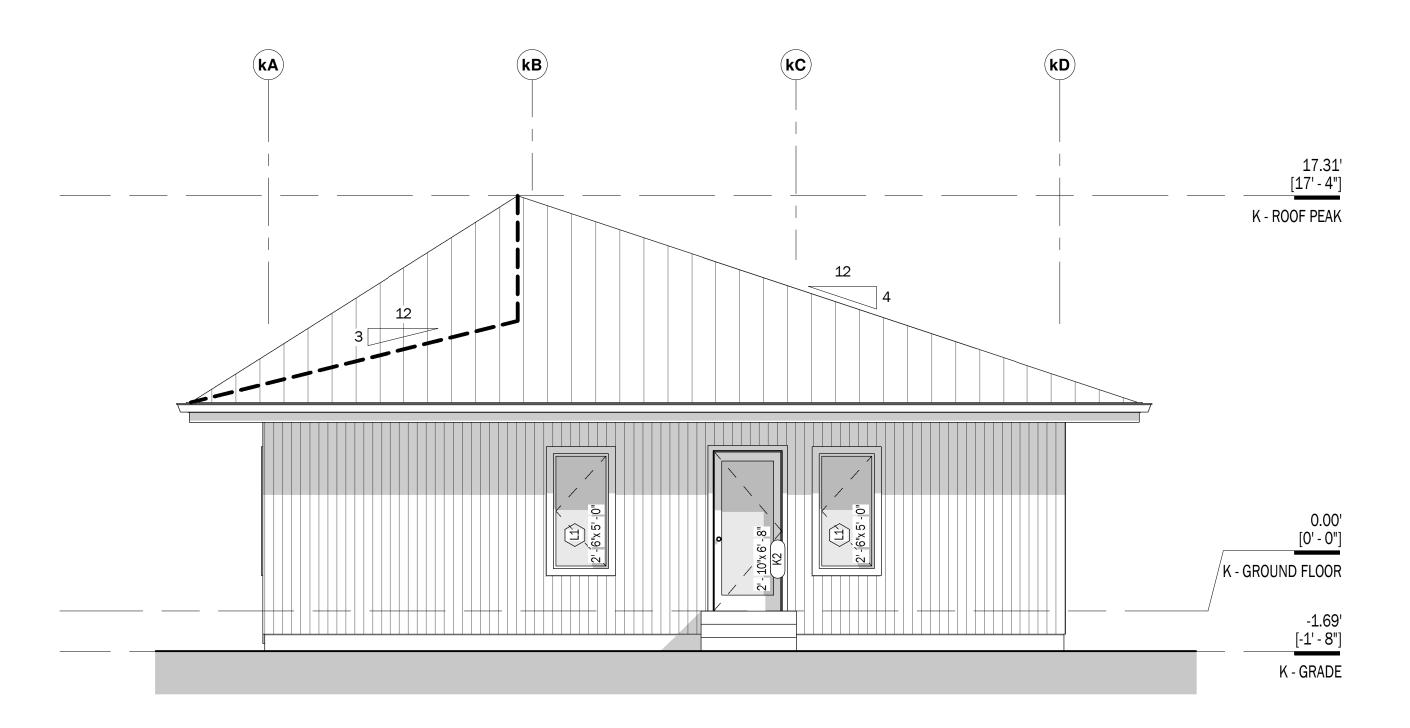
K - ROOF PEAK

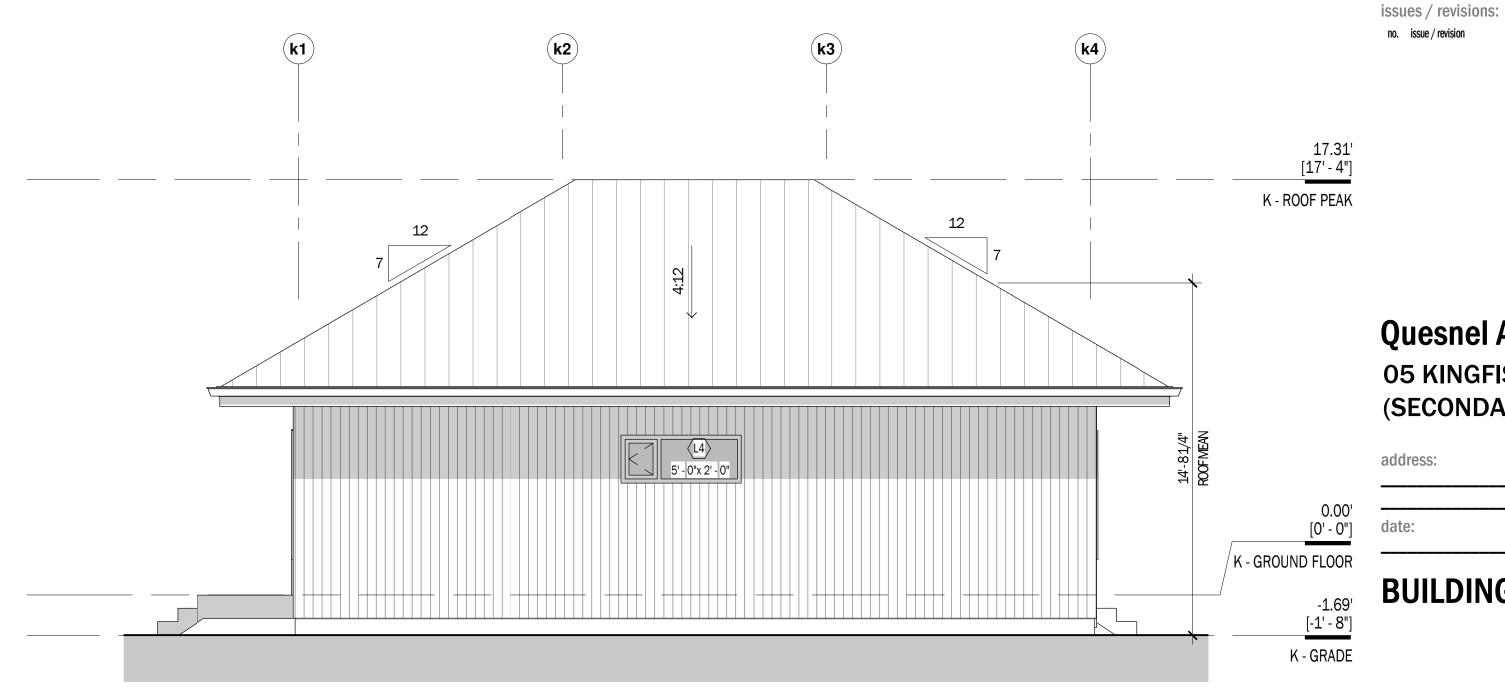


WALLS @ ROOF STEP TO BE IN ROOF MATERIAL



ELEVATION 1 2 ELEVATION 2 1/4" = 1'-0"



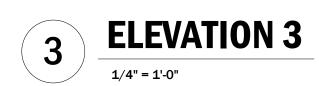


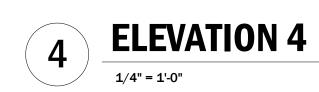
Quesnel ADU

05 KINGFISHER CABIN
(SECONDARY DWELLING)

ate: scale
1/4" = 1'-0

BUILDING ELEVATIONS

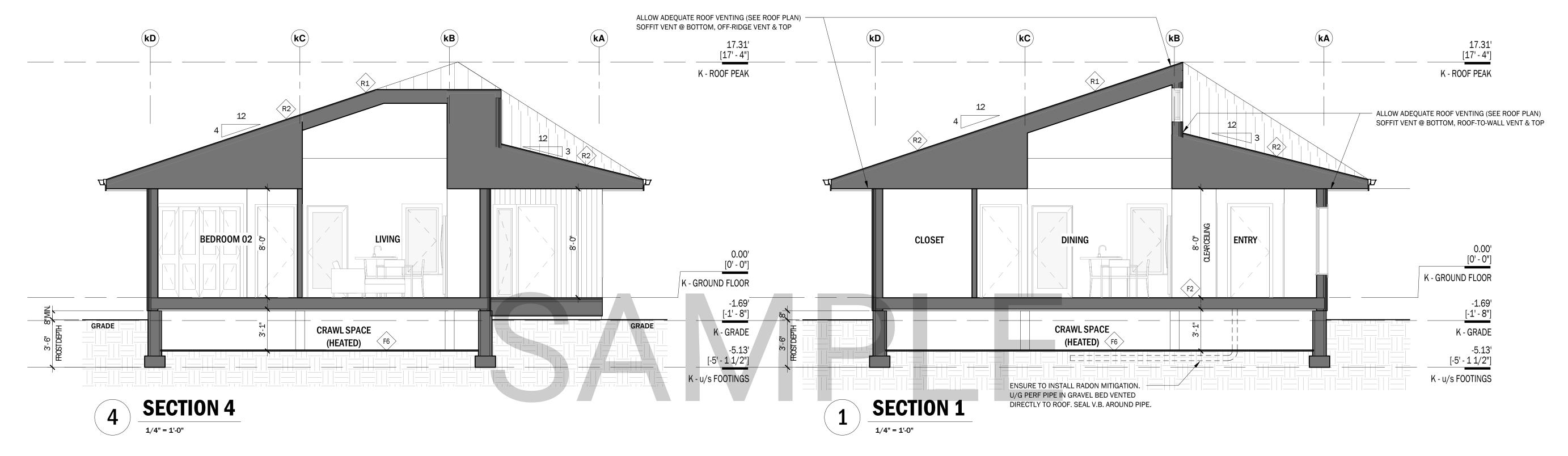


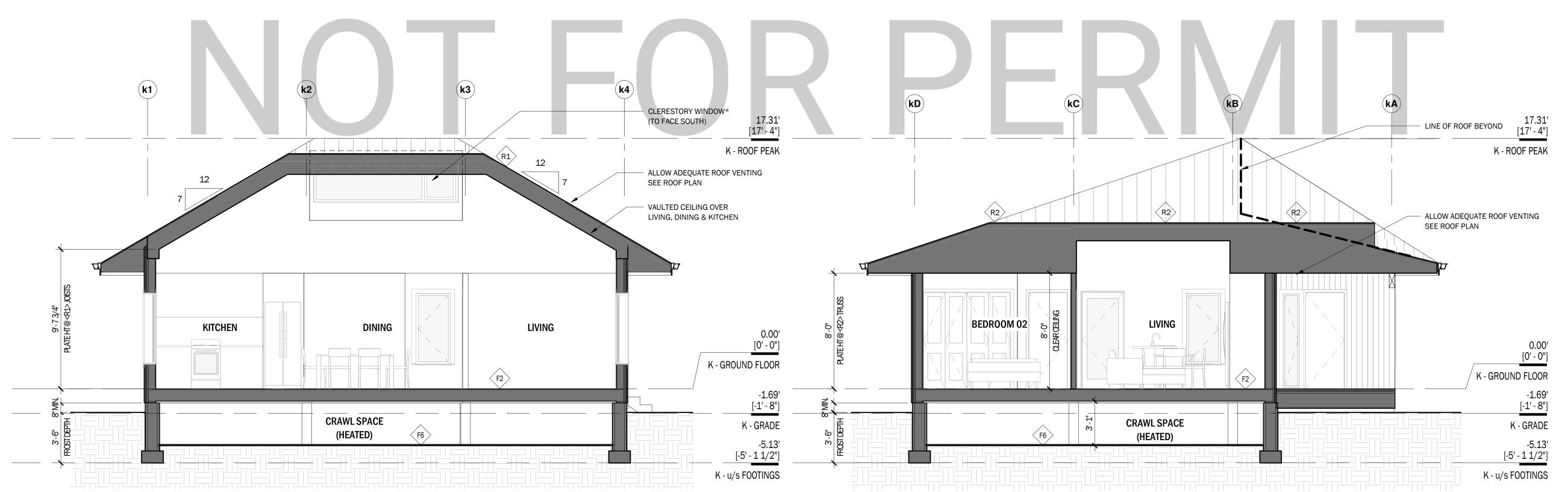




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(SECONDARY DWELLING)

address: project no

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issues / revisions:

no. issue / revision

date: scale: 1/4" = 1'-0"

05 KINGFISHER CABIN

BUILDING SECTIONS

3 **SECTION 3**

