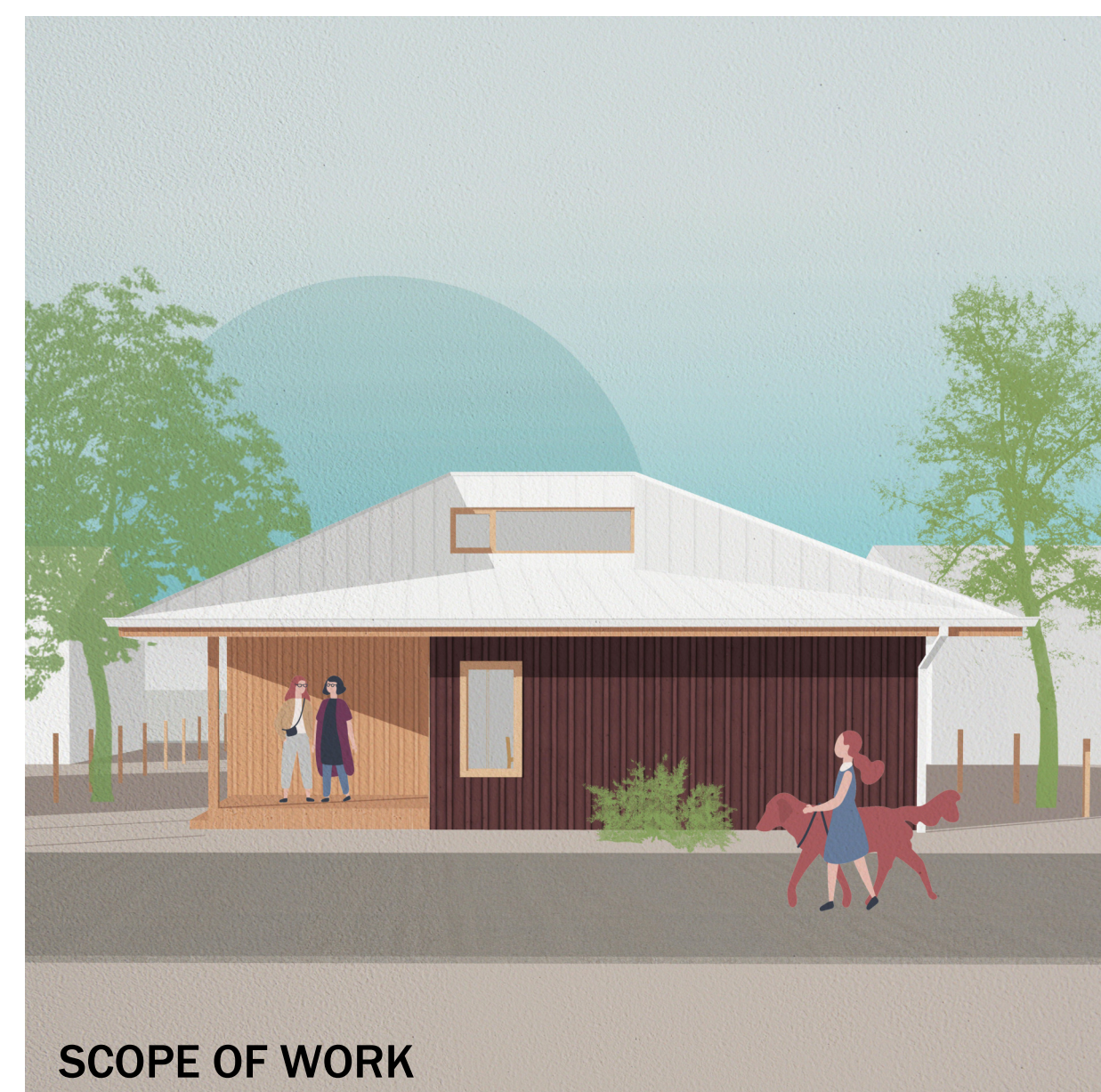


Quesnel ADU - 05 Kingfisher Cabin

ISSUED FOR BP

DATE

ADDRESS



SCOPE OF WORK

NEW SECONDARY DWELLING TO BE BUILT ON EXISTING SINGLE FAMILY LOT, ACCESSORY TO PRIMARY DWELLING. THIS DESIGN ACHIEVES AN ENERGY CODE STEP 5 BY ORIENTING THE ROOF INDEPENDENT OF THE PLAN ORIENTATION.

DUE TO ITS SQUARE PLAN, THE ROOF CAN ROTATE AT 90 DEGREE INTERVALS TO ENSURE THE CLERESTORY WINDOWS IN THE ROOF FACE SOUTH - THIS IS A NECESSITY TO MEET THE STEP 5 ENERGY REQUIREMENT.

ENSURE TO FRAME THE SPACE OVER THE KITCHEN-DINING-LIVING AREA IN ROOF RAFTERS TO CREATED A VAULTED CEILING SPACE

ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

PID:

ZONING:

SITE AREA:

DRAWING LIST

- K_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
- K_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
- K_A002 NOTES & SCHEDULES
- K_A003 ASSEMBLIES
- K_A100 FLOOR PLANS
- K_A200 BUILDING ELEVATIONS
- K_A300 BUILDING SECTIONS

ENERGY SUMMARY

THIS DESIGN MEETS STEP 5 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS:
(NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

*** ROOF ORIENTATION IS SITE DEPENDANT
ENSURE CLERESTORY WINDOW FACES SOUTH TO MEET STEP 5 REQUIREMENTS

ASSEMBLIES (PER ASSEMBLIES PAGE)

WALLS: R-24 BATT INSUL. IN 2x6 @ 24" o.c.
ROOF: R-50 BATT INSUL. IN 2x12 @ 24" o.c.
EXPOSED FLOOR: n/a
FOUNDATION WALLS: 8" CONCRETE w/ R-22 ICF BLOCK
SLAB ON GRADE: 3" EPS (R-12) FULL SLAB
AIR LEAKAGE: 1 ACH

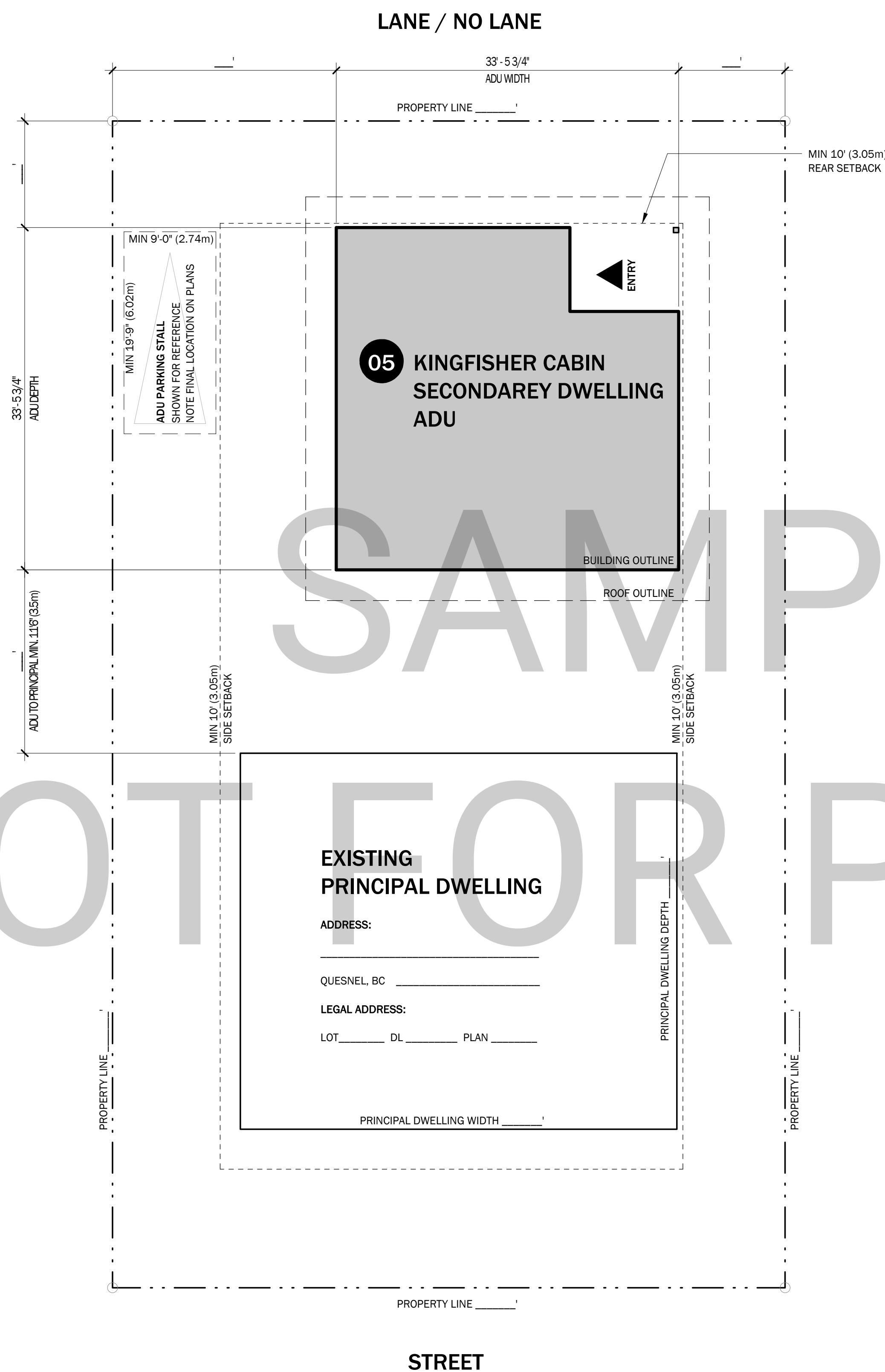
WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)

U 1.2 SHGC 0.3
VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU's

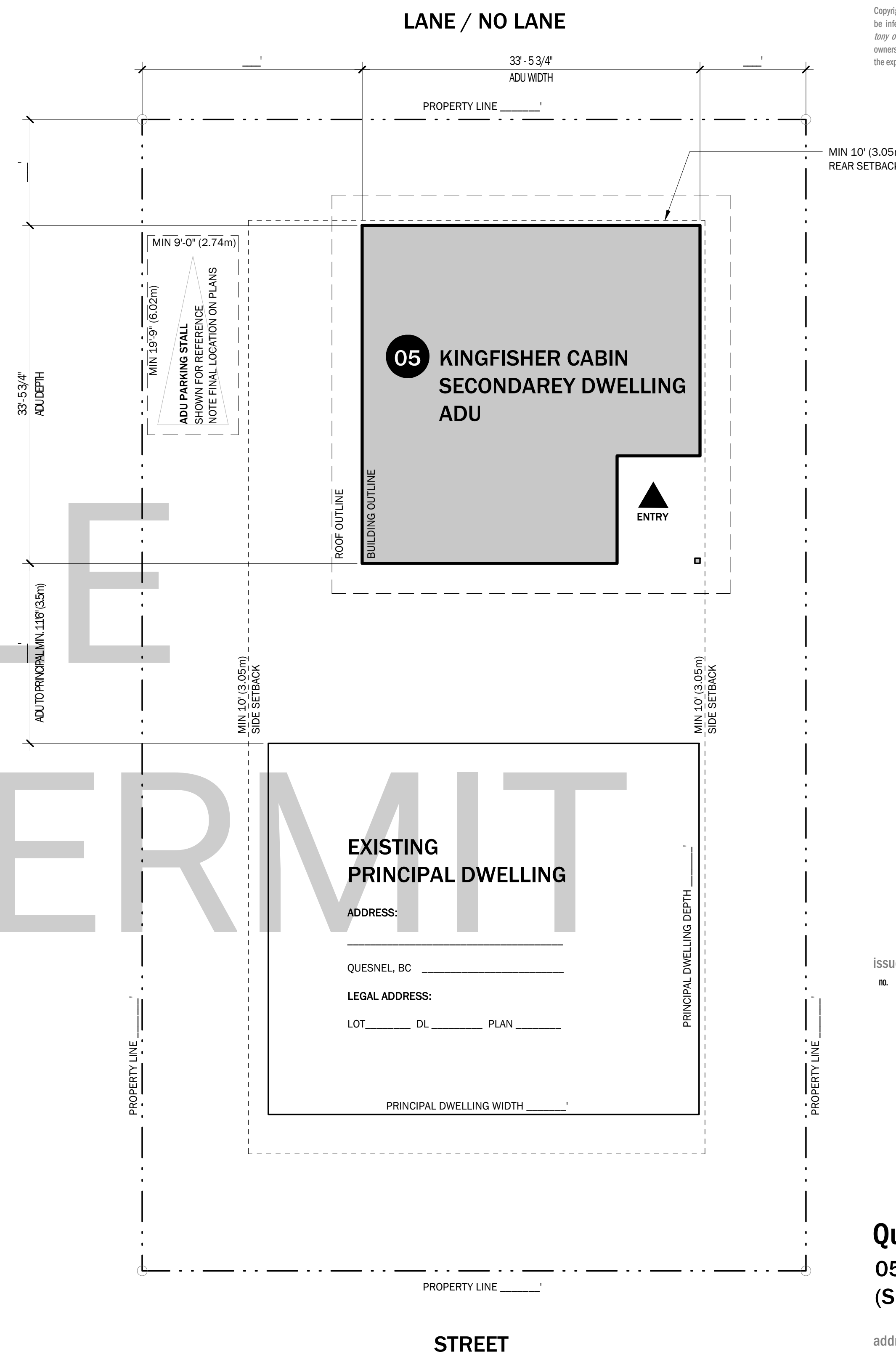
HVAC

HEATING/ COOLING: HEAT PUMP 9HSPF 16 SEER - MODELING ASSUMES A COLD CLIMATE HEAT PUMP

HOT WATER: ELECTRIC TANK 0.9ER
VENTILATION: HRV 211/s



1 SITE PLAN - OPTION 1
1/8" = 1'-0"



2 SITE PLAN - OPTION 2
1/8" = 1'-0"

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

issues / revisions:
no. issue / revision date

Quesnel ADU
05 KINGFISHER CABIN
(SECONDARY DWELLING)

address: _____ project no. _____

date: _____ scale: 1/8" = 1'-0"

COVER SHEET & SITE PLAN OPTIONS 1 & 2

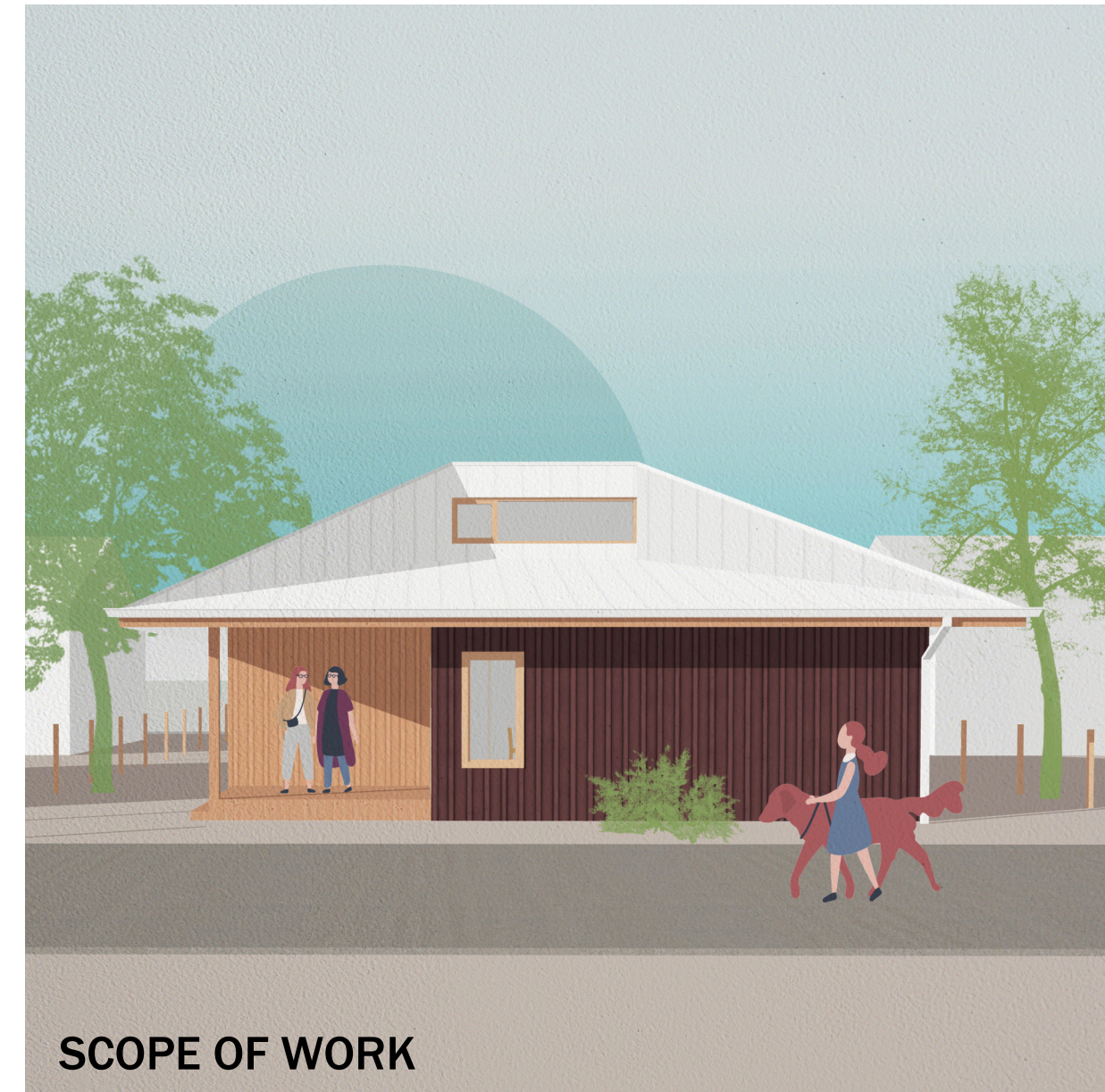
K_A000

Quesnel ADU - 05 Kingfisher Cabin

ISSUED FOR BP

DATE

ADDRESS



SCOPE OF WORK

NEW SECONDARY DWELLING TO BE BUILT ON EXISTING SINGLE FAMILY LOT, ACCESSORY TO PRIMARY DWELLING. THIS DESIGN ACHIEVES AN ENERGY CODE STEP 5 BY ORIENTING THE ROOF INDEPENDENT OF THE PLAN ORIENTATION.

DUE TO ITS SQUARE PLAN, THE ROOF CAN ROTATE AT 90 DEGREE INTERVALS TO ENSURE THE CLERESTORY WINDOWS IN THE ROOF FACE SOUTH - THIS IS A NECESSITY TO MEET THE STEP 5 ENERGY REQUIREMENT.

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SITE AREA:

DRAWING LIST

- K_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
- K_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
- K_A002 NOTES & SCHEDULES
- K_A003 ASSEMBLIES
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ENERGY SUMMARY

THIS DESIGN MEETS STEP 5 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS:
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*** ROOF ORIENTATION IS SITE DEPENDANT
ENSURE CLERESTORY WINDOW FACES SOUTH TO MEET STEP 5 REQUIREMENTS

ASSEMBLIES (PER ASSEMBLIES PAGE)

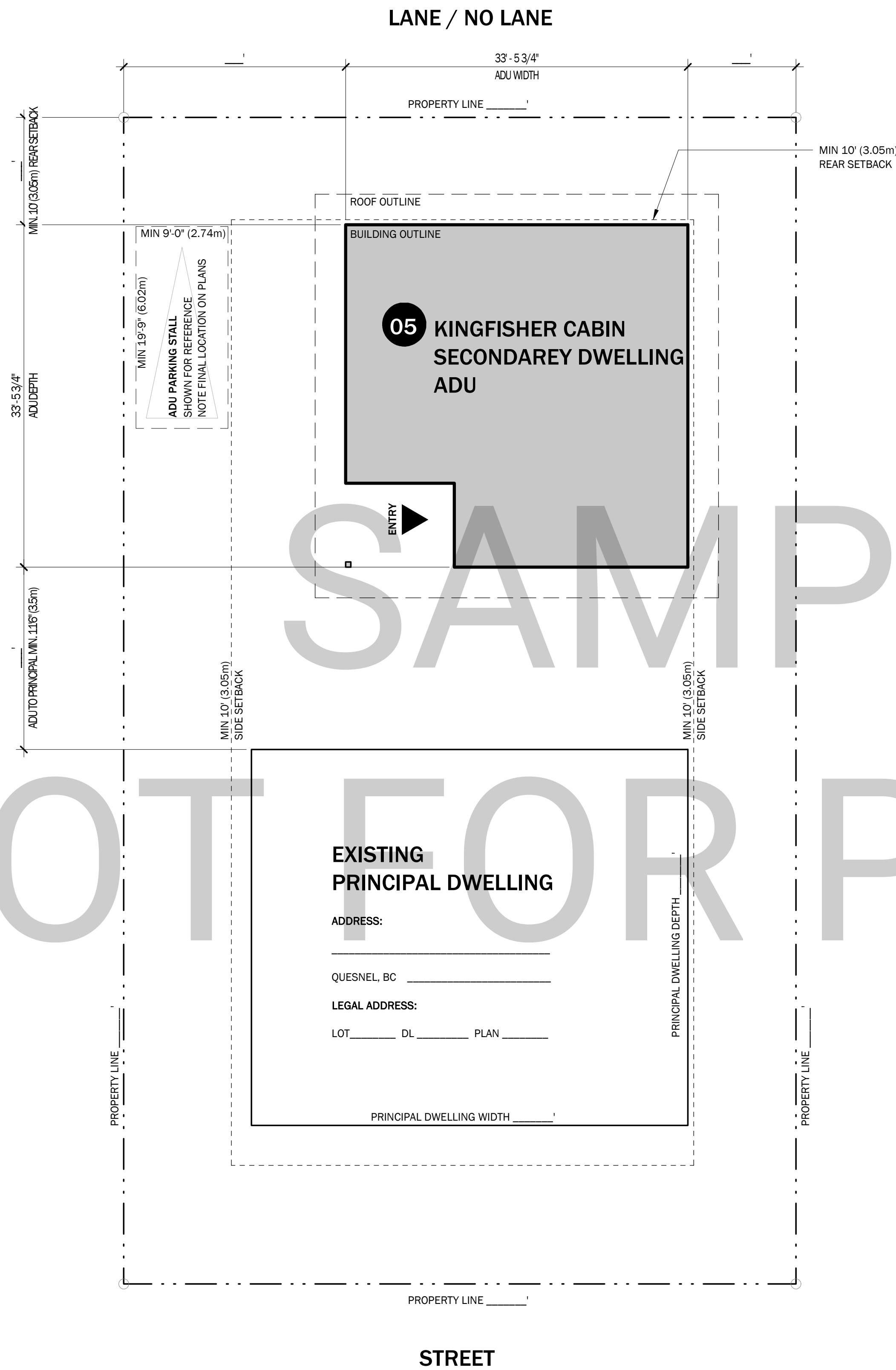
WALLS: R-24 BATT INSUL. IN 2x6 @ 24" o.c.
ROOF: R-50 BATT INSUL. IN 2x12 @ 24" o.c.
EXPOSED FLOOR: n/a
FOUNDATION WALLS: 8" CONCRETE w/ R-22 ICF BLOCK
SLAB ON GRADE: 3" EPS (R-12) FULL SLAB
AIR LEAKAGE: 1 ACH

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)

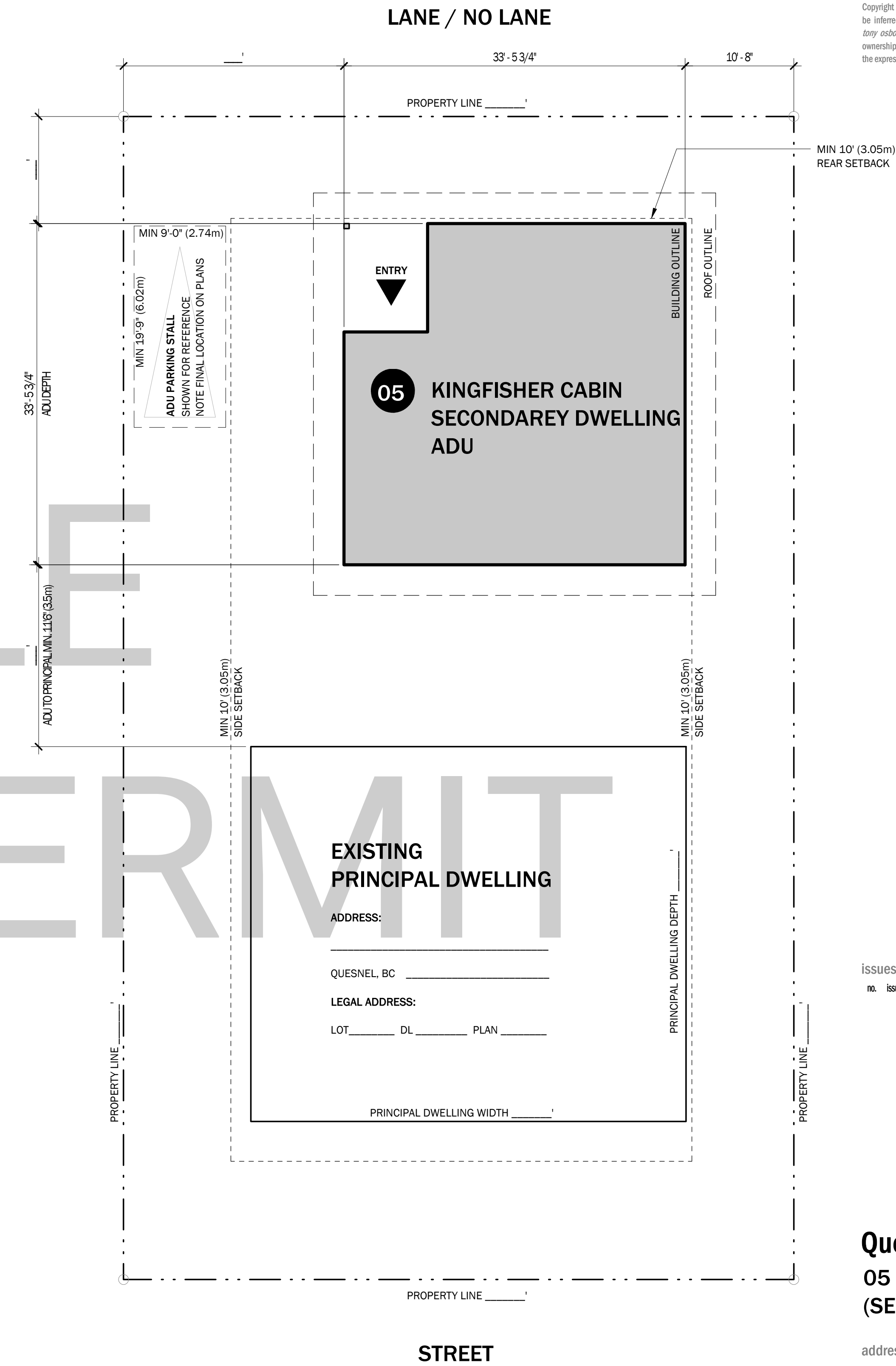
U 1.2 SHGC 0.3
VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S

HVAC

HEATING/ COOLING: HEAT PUMP 9HSPF 16 SEER - MODELING ASSUMES A COLD CLIMATE HEAT PUMP
HOT WATER: ELECTRIC TANK 0.9ER
VENTILATION: HRV 211/s



1 SITE PLAN - OPTION 3
1/8" = 1'-0"



2 SITE PLAN - OPTION 4
1/8" = 1'-0"

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

issues / revisions:
no. issue / revision date

Quesnel ADU
05 KINGFISHER CABIN
(SECONDARY DWELLING)

address: _____ project no. _____

date: _____ scale: 1/8" = 1'-0"

COVER SHEET & SITE PLAN OPTIONS 3 & 4

K_A001

FLOOR TYPES

	FRR	STC	Remarks
F1		0 h	n/a
TYPICAL FLOOR			
<p>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING 2x10 OR TJI WOOD JOISTS @ 16" o.c. R-6 BATT INSULATION BETWEEN JOISTS 1/2" GWB</p>			
F2		0 h	n/a
FLOOR OVER CRAWL SPACE			
<p>FLOORING FINISH (TBD) 5/8" T & G PLYWOOD DECKING VAPOUR BARRIER - SEAL ALL PLYWOOD BUTT JOINTS 2x10 OR TJI WOOD JOISTS @ 16" o.c. R-28 BATT INSULATION BETWEEN JOISTS c/w INSUL'N TIES OR STRAPPING TO HOLD INSUL'N IN PLACE</p>			
F3		0 h	n/a
FLOOR OVER GARAGE			
<p>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING VAPOUR BARRIER - SEAL ALL PLYWOOD BUTT JOINTS 2x10 OR TJI WOOD JOISTS @ 16" o.c. R-28 BATT INSULATION BETWEEN JOISTS 1/2" GWB</p>			
F4		0 h	n/a
TYPICAL INSULATED SLAB ON GRADE			
<p>4" C.I.P. CONCRETE 51' GRADE c/w WELDED MESH REINFORCEMENT 10 MIL POLY VAPOUR BARRIER SEALED AT ALL EDGES 3" RIGID EPS (R-22) INSULATION MIN 6" COARSE AGGREGATE GRAVEL</p>			
F5		0 h	n/a
SLAB ON GRADE			
<p>4" C.I.P. CONCRETE 51' GRADE c/w WELDED MESH REINFORCEMENT 10 MIL POLY VAPOUR BARRIER SEALED AT ALL EDGES MIN 6" COARSE AGGREGATE GRAVEL</p>			
F6		-	-
CONCRETE SLURRY - INSULATED @ CRAWL SPACE			
<p>1" CONCRETE SLURRY 10 MIL VAPOUR BARRIER SEALED @ ALL JOINTS 3" RIGID EPS (R-12) INSULATION 6" MIN COMPACT GRAVEL</p>			

SOFFIT TYPES

	FRR	STC	Remarks
S1		0 h	54 (IC 48)
INSULATED SOFFIT OVER UNINSULATED SPACE			
<p>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING (BUTT JOINTS TO BE SEALED W/ CLEAR SEALANT) VAPOUR BARRIER PRE-ENG TJI OR 2x10 WOOD JOISTS @ 24" o.c. R-28 BATT INSULATION BETWEEN JOISTS AIR & MOISTURE BARRIER 1/2" CROSS STRAPPING SOFFIT FINISH c/w VENTS</p>			

WALL ASSEMBLIES

	FRR	STC	Remarks / Reference
WE1		0 h	n/a
EXTERIOR WALL (RATED)			
<p>CLADDING PER ELEVATIONS 1/2" x 2" PT EXTR GRADE PLYWOOD STRAPPING @ 16" o.c. INSTALLED OVER STUDS c/w INSECT SCREENS @ TOP & BTM OF CAVITY AIR & MOISTURE BARRIER (TYVEK OR SIM) - TAPE ALL JOINTS 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 24" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL UV RATED POLY VAPOUR BARRIER 1/2" GWB</p>			
P1		0 h	n/a
TYPICAL INTERIOR 2x4 PARTITION WALL			
<p>1/2" GWB 2x4 WOOD STUDS @ 16" o.c. 1/2" GWB</p>			
P2		0 h	n/a
INTERIOR 2x6 (PLUMBING) PARTITION WALL			
<p>1/2" GWB 2x6 WOOD STUDS @ 16" o.c. 1/2" GWB</p>			
P3		0 h	n/a
INTERIOR 2x6 PARTITION WALL - GARAGE SEPERATION			
<p>5/8" TYPE 'X' GWB 2x6 WOOD STUDS @ 16" o.c. R- BATT INSULATION VAPOUR BARRIER 1/2" GWB</p>			
P5.0		0 h	n/a
FURRING WALL			
<p>1 LAYER OF 1/2" GYPSUM BOARD 2x4 WOOD FRAMING @ 16" o.c. OR ROOF TRUSS VERTICALS</p>			
P6		0 h	n/a
FOUNDATION WALL - INSULATED @ PERIMETER			
<p>8" C.I.P. REINFORCED CONCRETE WALLS ICF 2" RIGID EPS (R-22) INSUL'N FORMS BOTH SIDES</p>			
P7		0 h	n/a
FOUNDATION WALL - UNINSULATED			
<p>8" C.I.P. REINFORCED CONCRETE WALLS</p>			

ROOF TYPES

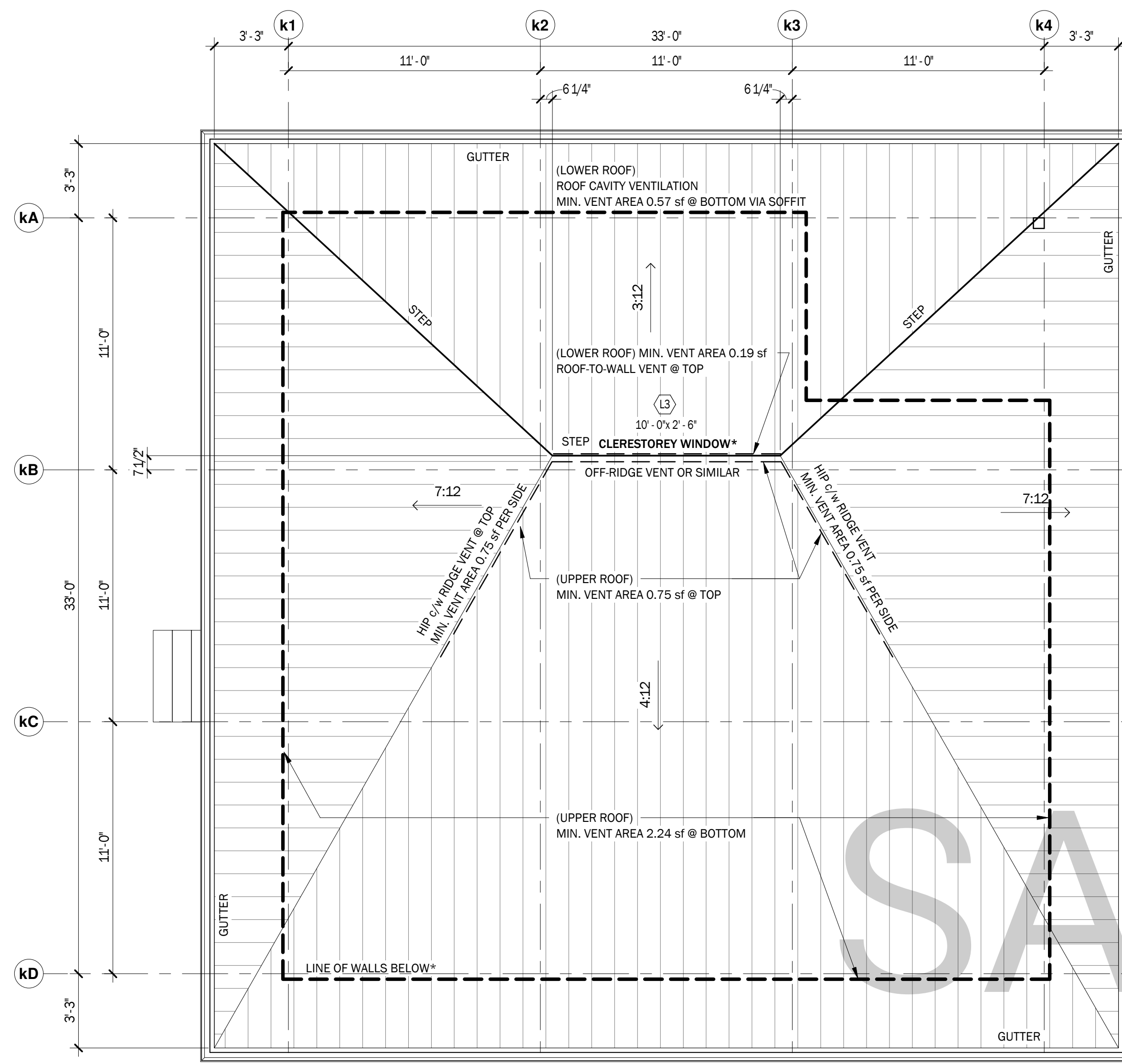
	FRR	STC	Remarks
R1		0 h	n/a
SLOPED ROOF - VAULTED CEILING (R50)			
<p>STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION 1/2" EXT. GRADE PLYWOOD SHEATHING 3" (MIN 2.5") AIR GAP 2 LAYERS 2x3 ON FLAT CROSS STRAPPING ENSURE ADEQUATE VENTING @ PERIMETER & RIDGE 14" PRE-ENG TJI RAFTERS OR PARALLEL CHORD TRUSSES R-50 MIN. (14") BATT INSULATION 6 MIL. POLY AIR & VAPOUR BARRIER 1/2" GWB</p>			
R2		0 h	n/a
SLOPED ROOF (INSULATED)			
<p>STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION EXT. GRADE 1/2" PLYWOOD SHEATHING PRE-ENG WOOD ROOF TRUSSES @ MAX. 24" o.c. INSTALL BAFFLES @ RAISED HEELS TO ALLOW INSULATION & ADEQUATE VENTING R-50 (14") INSULATION (BATT OR BLOWN IN) 6 MIL. POLY VAPOUR BARRIER 1/2" GWB</p>			

GENERAL CONSTRUCTION NOTES

- SITE CONDITIONS:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. REPORT ALL SITE DISCREPANCIES IN WRITING TO DRAWING CONSULTANT.
- DIMENSIONS:** ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONFORMANCE:** WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BC BUILDING CODE 2018 AND ALL PROVINCIAL CODES & MUNICIPAL BYLAWS.
- CONSTRUCTION SAFETY:** THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
- INSURANCES:** THE CONTRACTOR SHALL MAINTAIN AT HIS COST ALL NECESSARY INSURANCES INCLUDING THOSE ASKED FOR BY THE PROPRIETOR. THE PROPRIETOR SHALL INFORM HIS FIRE INSURANCE CO. OF WORK TO BE DONE.
- SITE PREPARATION:** INSTALL TEMPORARY DUSTPROOF PARTITIONS & ACCESS AROUND THE WORK AREA.
- DEMOLITION:** CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS. SUPPLY TEMPORARY SUPPORTS WHERE REQUIRED AS PER CODES & NORMS. REPAIR ADJACENT SURFACES.
- MATERIALS:** ONLY NEW MATERIALS SHALL BE USED. ALL MATERIALS SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- SCHEDULING:** IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE TO DRAWING CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WINDOWS AND DOORS:** ARE NOTED AS NOMINAL SIZES. ROUGH OPENINGS TO BE CONFIRMED WITH MANUFACTURER REQUIREMENTS.
- SHOP DRAWINGS:** FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS
- BACKING:** PROVIDE BACKING IN STUD SPACE TO MECHANICALLY FASTEN GRAB BARS, HANDRAILS, GUARDRAILS, WALL-MOUNT ACCESSORIES, SHELVING & DISPLAY SYSTEMS TO SEISMIC AND STRUCTURAL REQUIREMENTS.
- ELECTRICAL SERVICE:** ELECTRICAL INFORMATION ON DRAWINGS IS FOR LAYOUT PURPOSES ONLY. ELECTRICAL CONTRACTOR TO ASSESS EXISTING SERVICE AND CONDITION. PROVIDE MODIFICATIONS AND UPGRADES TO SERVICE TO ACCOMMODATE PROPOSED DESIGN AS REQUIRED.
- ELECTRICAL PERMITS:** PROVIDE ELECTRICAL PERMIT FOR ELECTRICAL WORK INDICATED ON DRAWINGS. SUBMIT PERMIT & INSPECTION REPORTS TO ARCHITECT (AND CONSULTANT IF APPLICABLE).
- ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ETC.** LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS & RECESSED CABINETS OR FIXTURES.
- FIRE SEPARATIONS:** THE DEMISING WALLS ARE TO REMAIN AS EXISTING. IT IS THE OWNER'S RESPONSIBILITY THAT THE FIRE RATING OF THE DEMISING WALLS ARE THE MINIMUM RATING AS REQUIRED BY THE CURRENT BUILDING CODE AND ALL CURRENT PROVINCIAL & MUNICIPAL BYLAWS & CODES.
- FIRE RATING:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND MAINTAIN THE FIRE RATING OF THE STRUCTURAL ELEMENTS REQUIRED BY ALL CURRENT PROVINCIAL CODES & MUNICIPAL BYLAWS.

INTERIOR WALL GENERAL NOTES

- ALL INTERIOR PARTITIONS ADJACENT TO WATER CLOSETS TO HAVE BATT INSULATION FULL HEIGHT FOR SOUND ATTENUATION.
- LEVEL 4 FINISH ON ALL INTERIOR GWB SURFACES (LEVEL 4 - JOINT COMPOUND ON JOINTS AND SCREW HEADS ONLY, SANDED SMOOTH)
- APPLY MILDEW RESISTANT SEALANT AROUND ALL WET AREAS INCLUDING BUT NOT LIMITED TO THE KITCHEN, BATH AND LAUNDRY TO FORM WATERTIGHT SEALS AROUND ALL FIXTURES, VANITIES, COUNTERTOPS, FAUCETS, DRAINS, ETC.
- ALL ACCESSIBLE AND ADAPTABLE UNITS TO HAVE 1/2" PLYWOOD LET INTO STUDS FROM 24" AFF TO 5'-0" AFF FOR GRAB BAR AND ACCESSORY MOUNTING IN WASHROOM

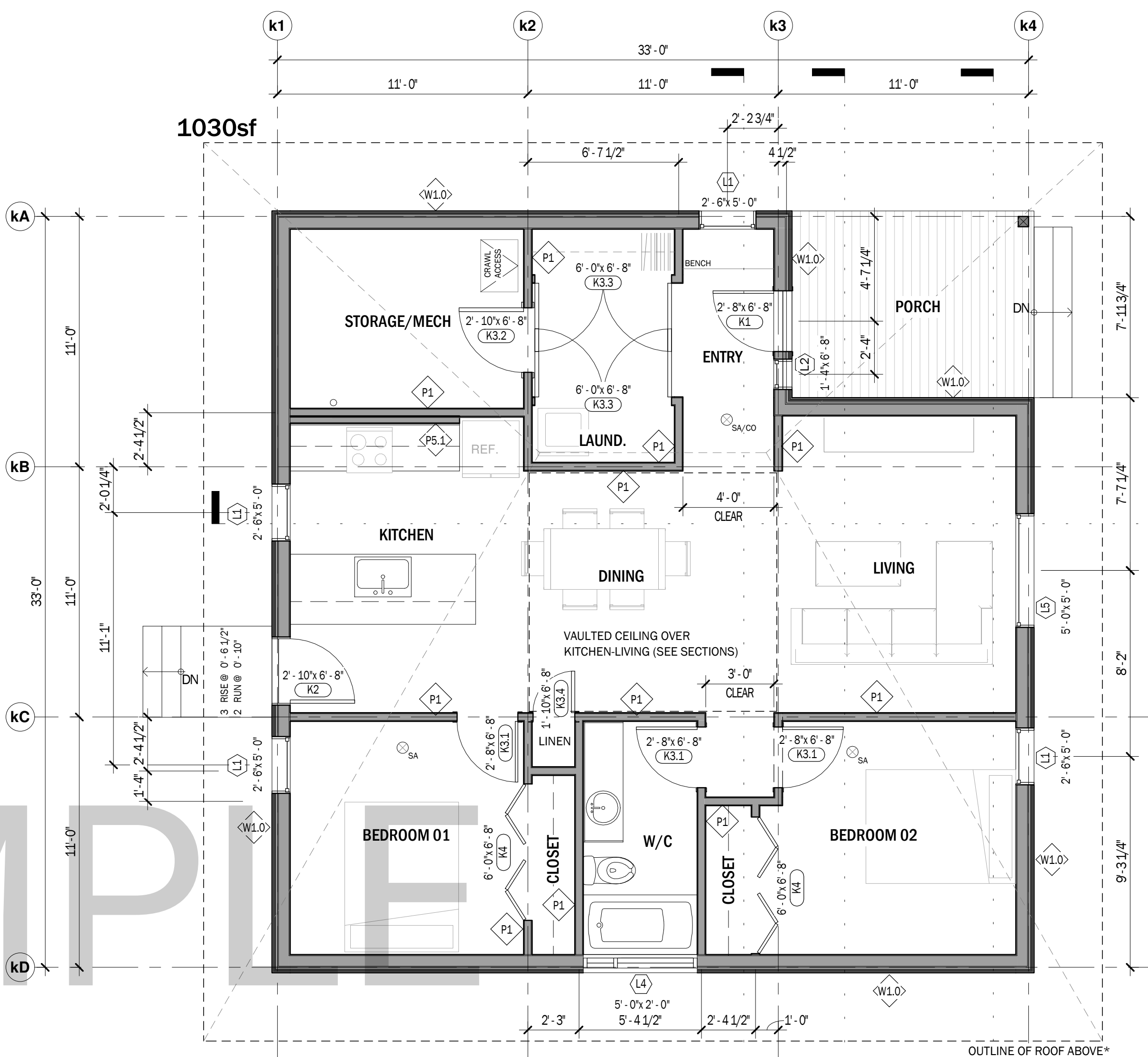


2 ROOF PLAN
1/4" = 1'-0"

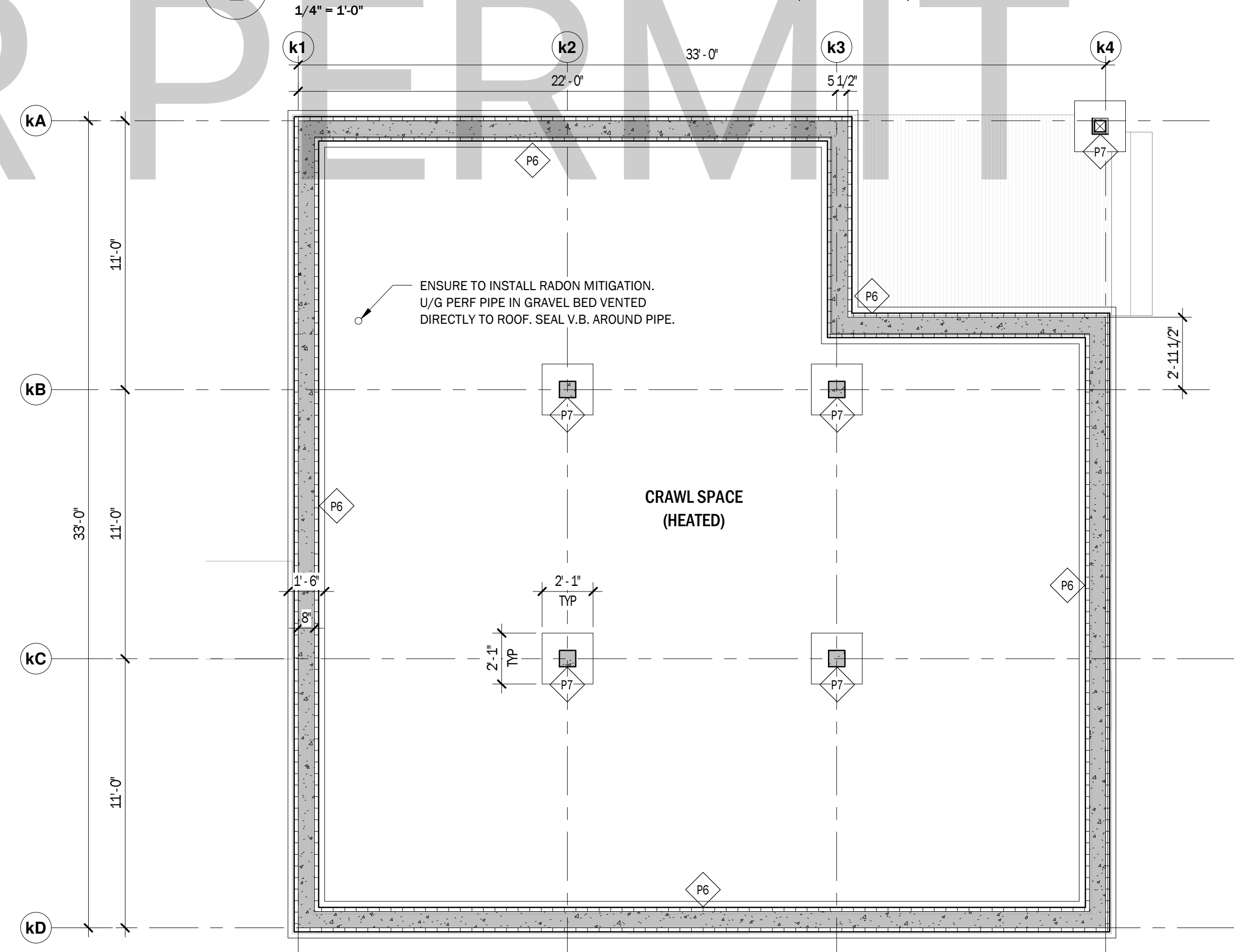
ROOF CAVITY VENTILATION CALCULATIONS:

PORTION	TOTAL AREA	MIN. OVERALL VENT AREA	MIN @ TOP (25%)
LOWER ROOF:	228.0 sf / 300	0.76 sf	0.19 sf
UPPER ROOF:	894.6 sf / 300	2.98 sf	0.75 sf

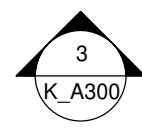
*NOTE:
ORIENTATION OF THE ROOF TO ROTATE TO FACE THE CLERESTOREY WINDOWS SOUTH TO MEET ENERGY REQUIREMENTS.



1 GROUND FLOOR PLAN
1/4" = 1'-0"



3 FOUNDATION PLAN
1/4" = 1'-0"



NOTE:
1. ALL WALLS <P1> UNO

issues / revisions:

no.	issue / revision	date

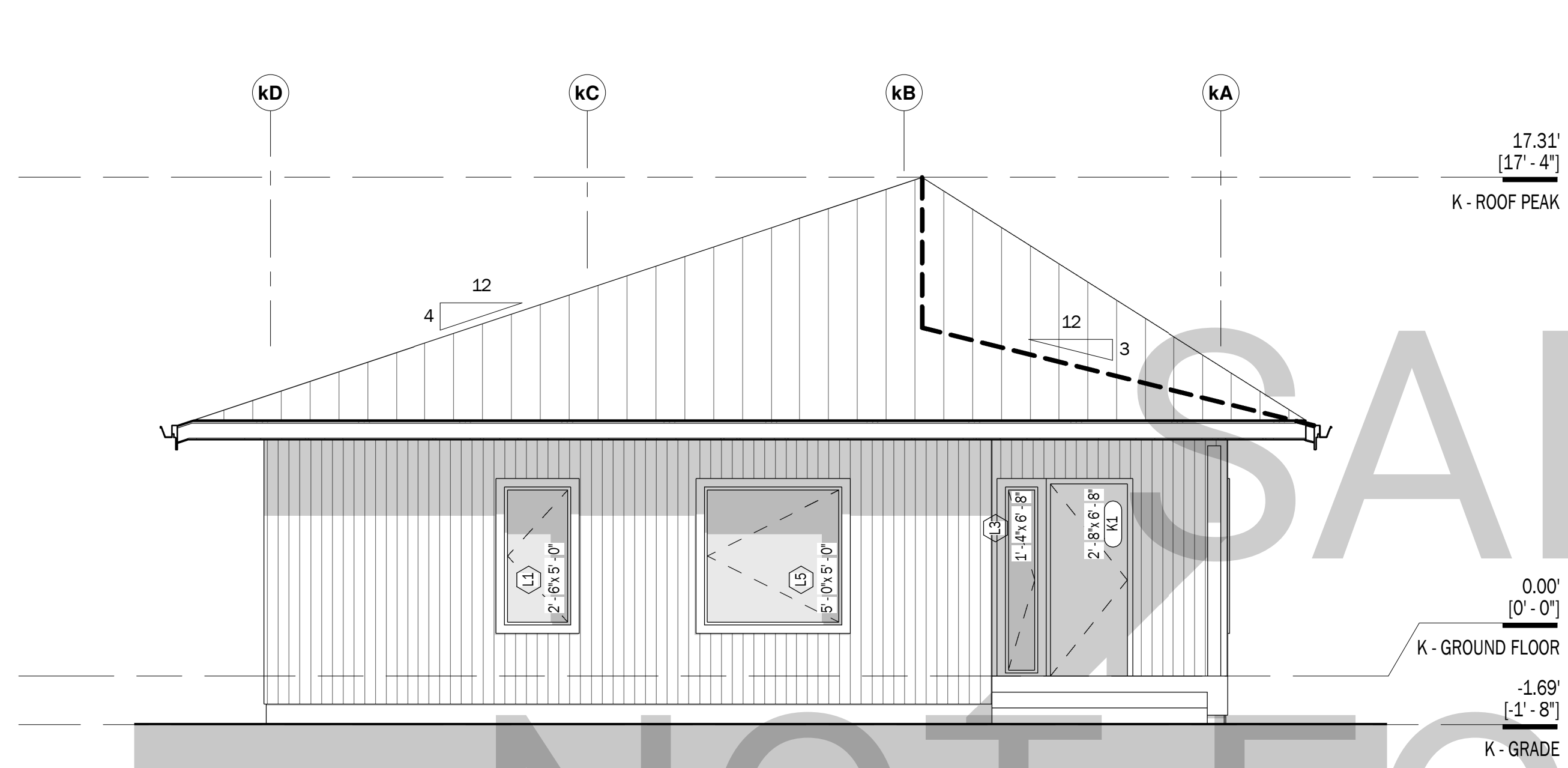
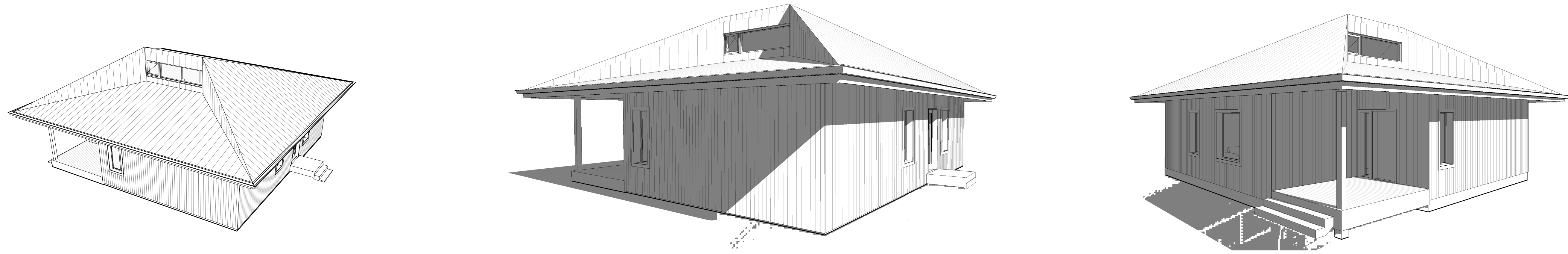
Quesnel ADU
05 KINGFISHER CABIN
(SECONDARY DWELLING)

address: _____ project no. _____

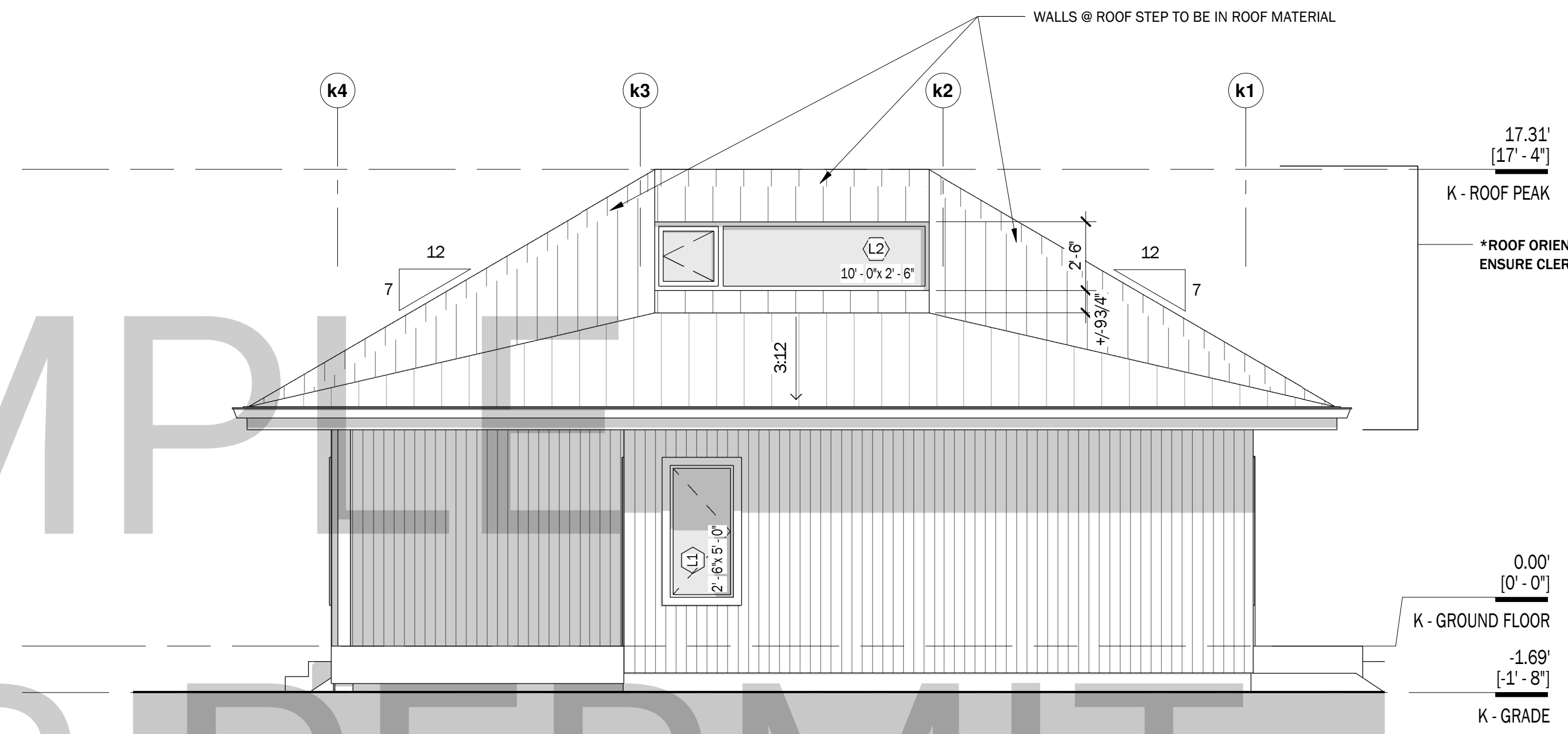
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FLOOR PLANS

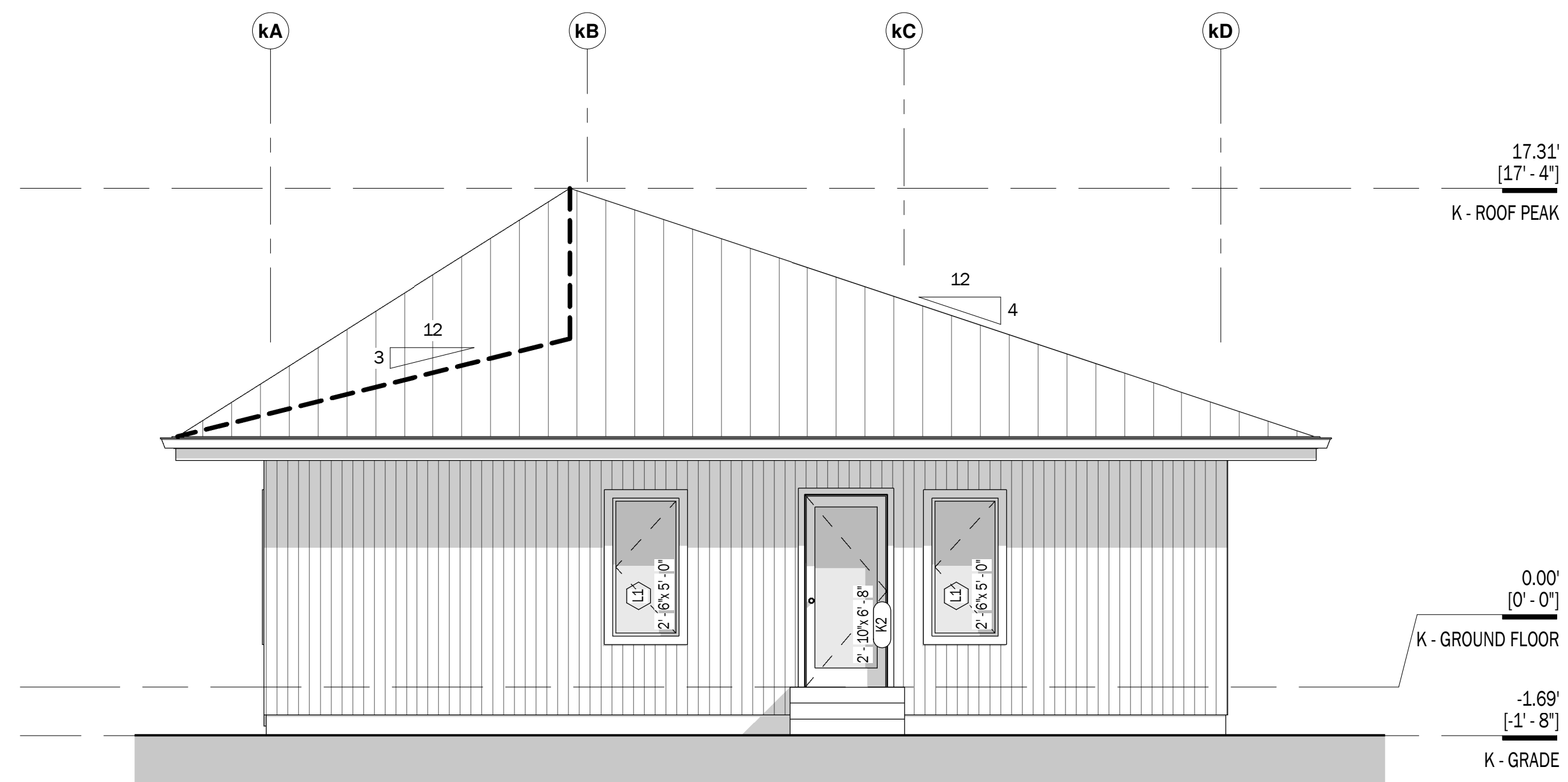
K_A100



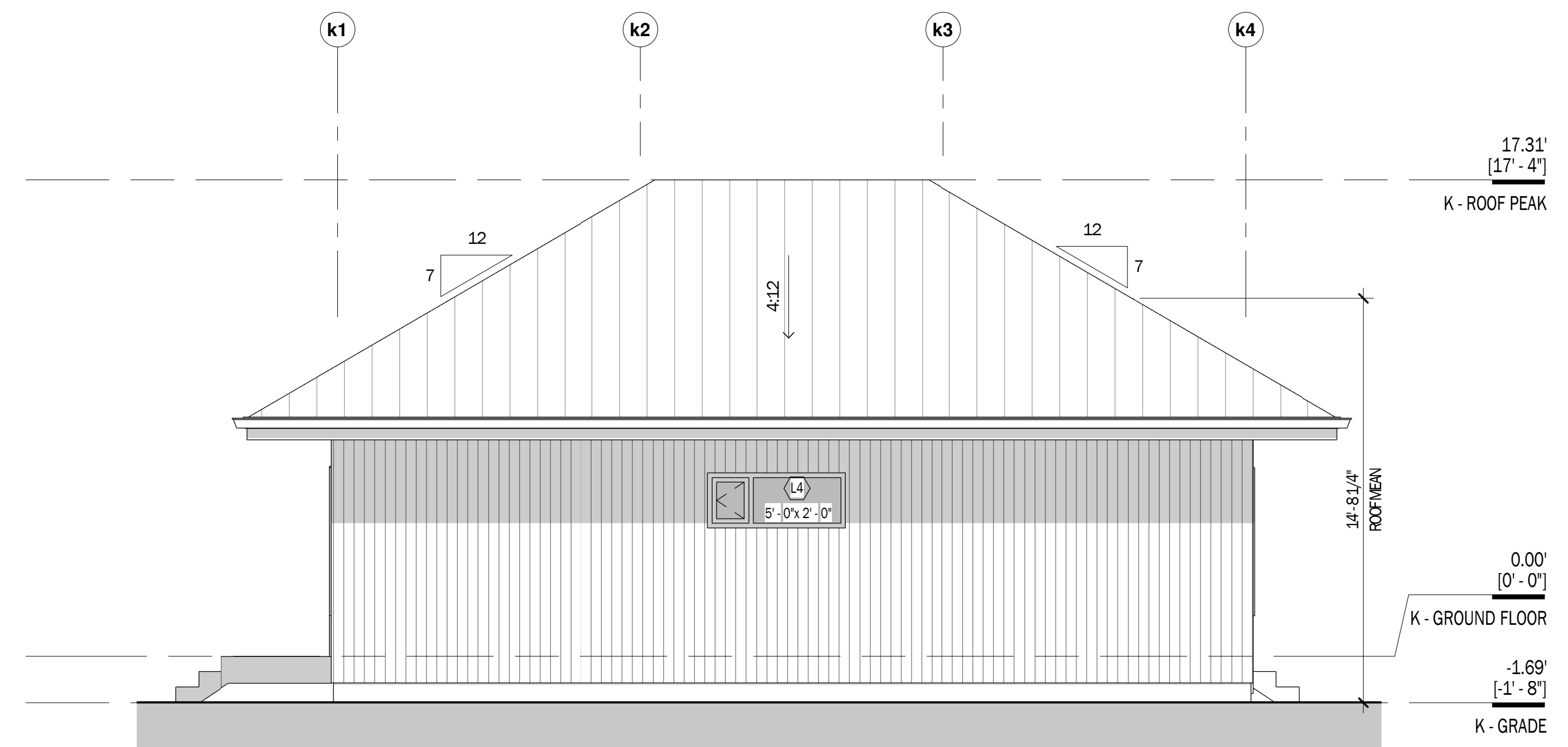
1 ELEVATION 1
 1/4" = 1'-0"



2 ELEVATION 2
 1/4" = 1'-0"



3 ELEVATION 3
 1/4" = 1'-0"



4 ELEVATION 4
 1/4" = 1'-0"

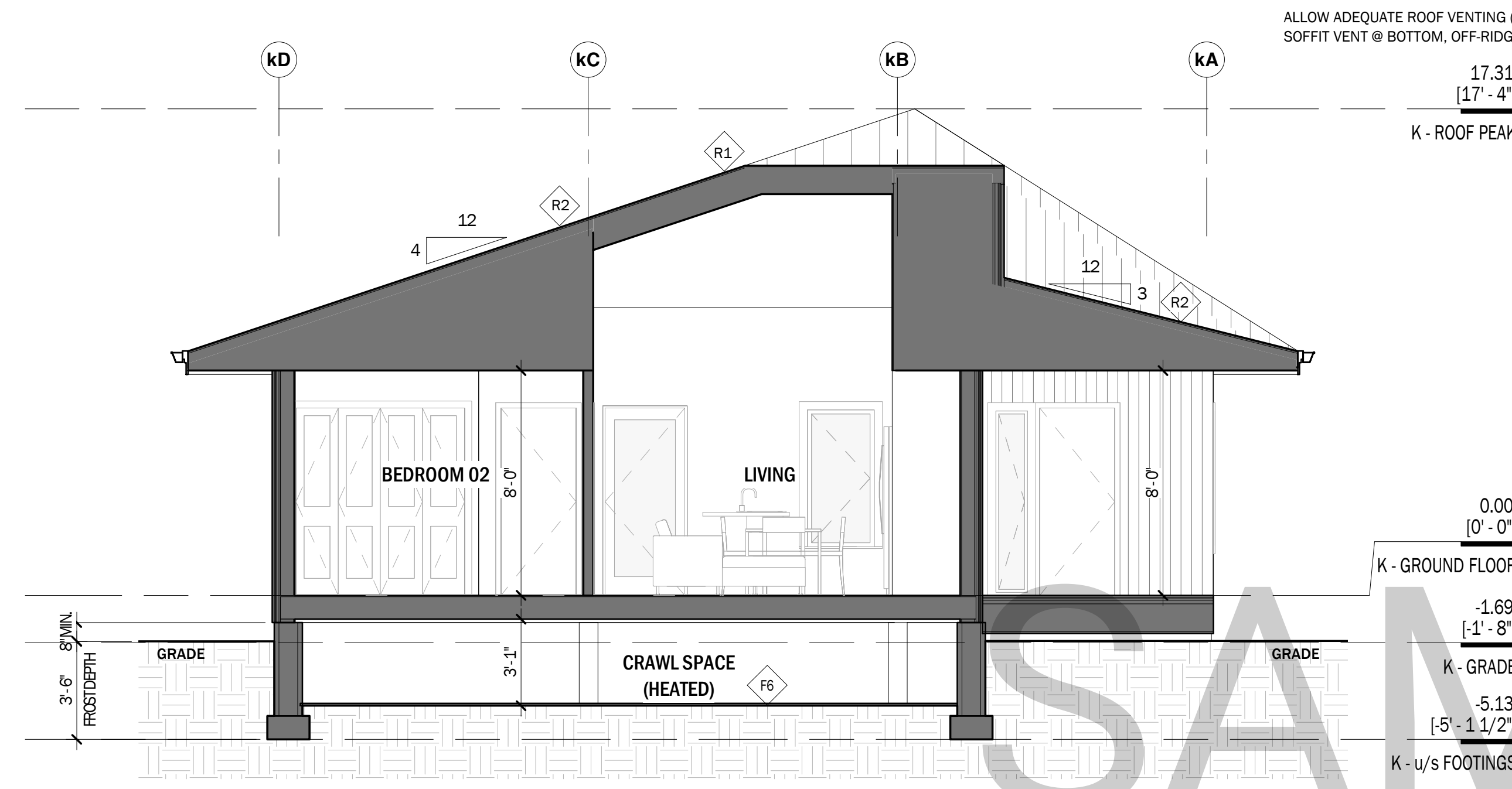
issues / revisions:

no.	issue / revision	date

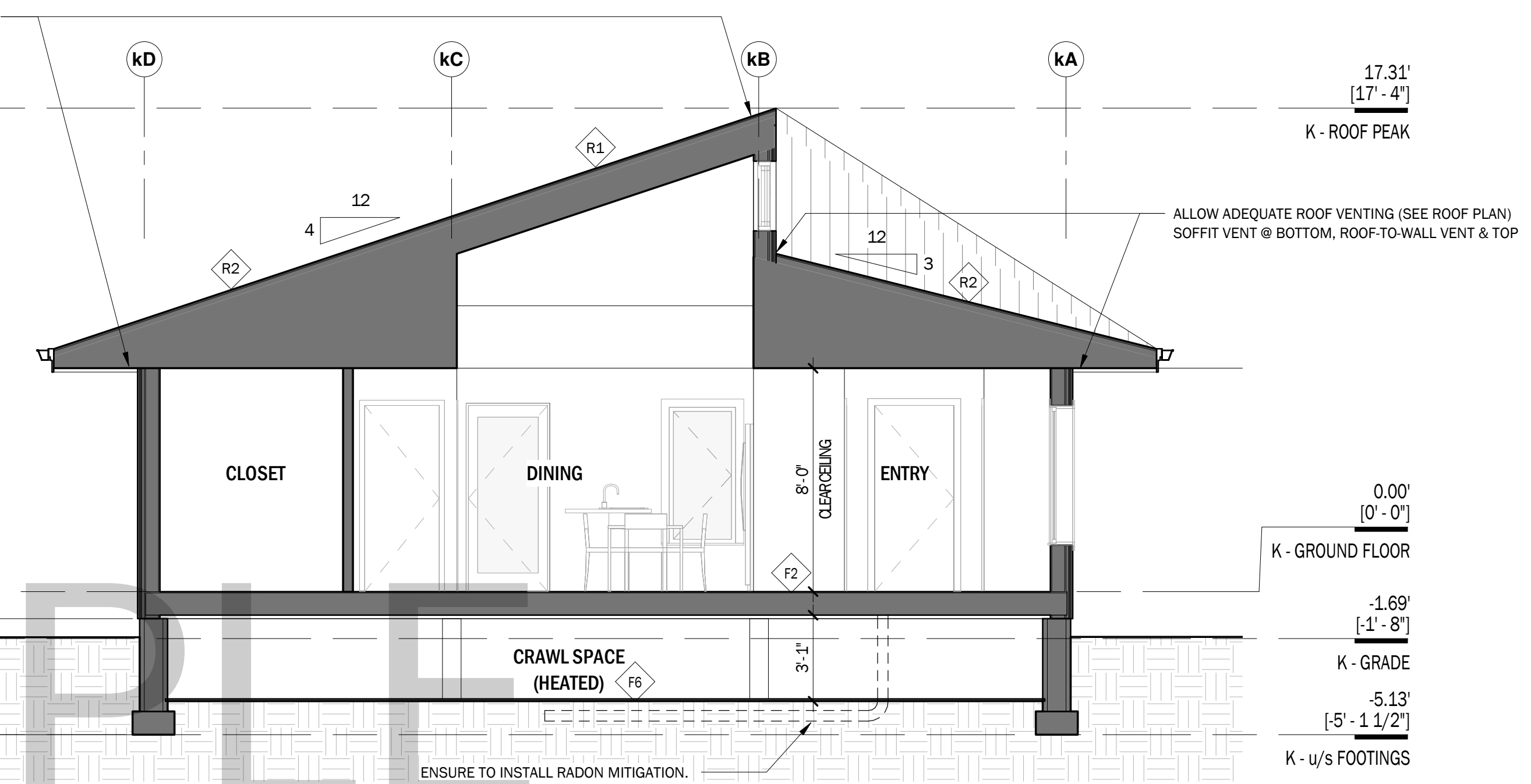
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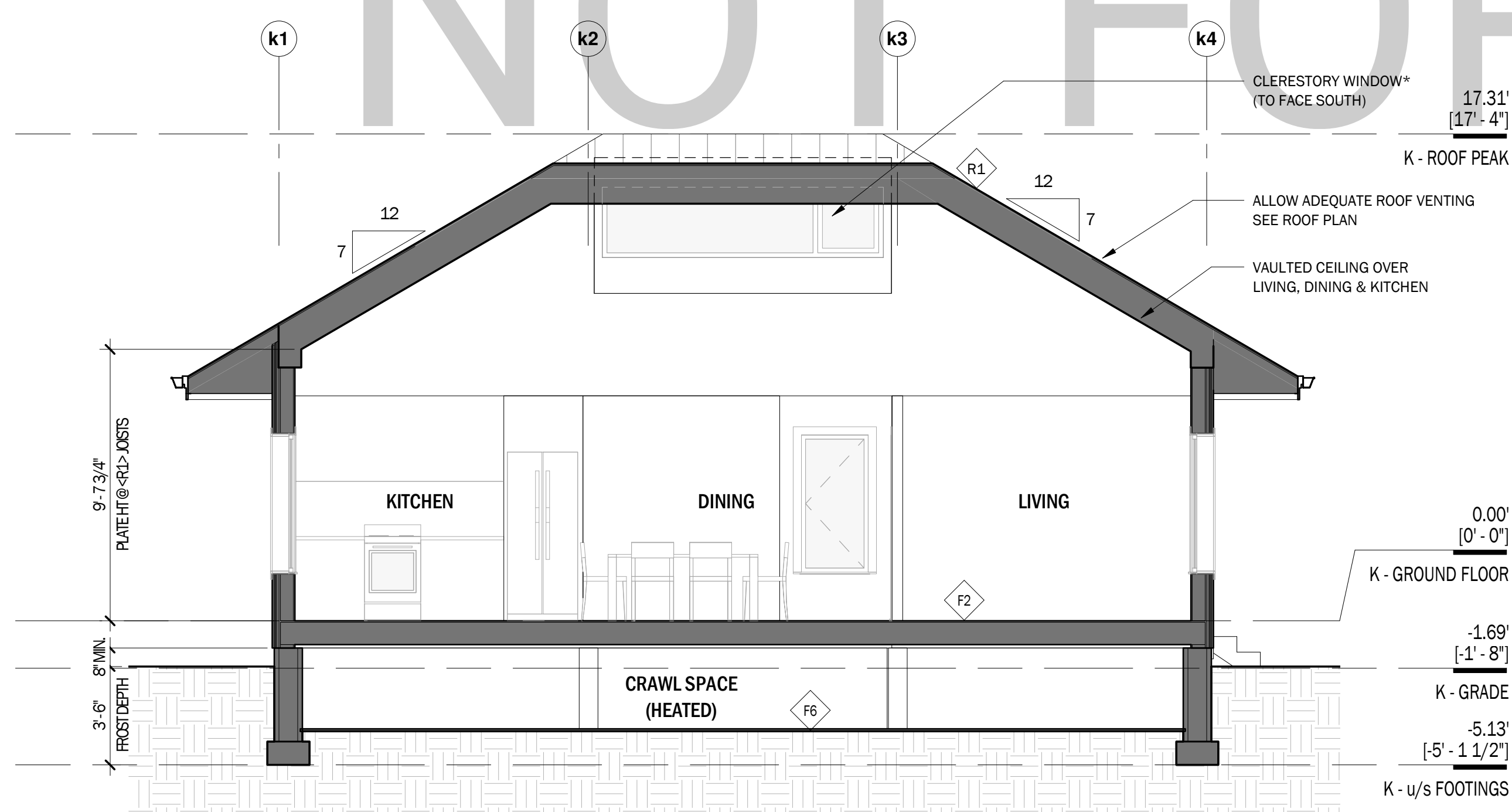
BUILDING ELEVATIONS



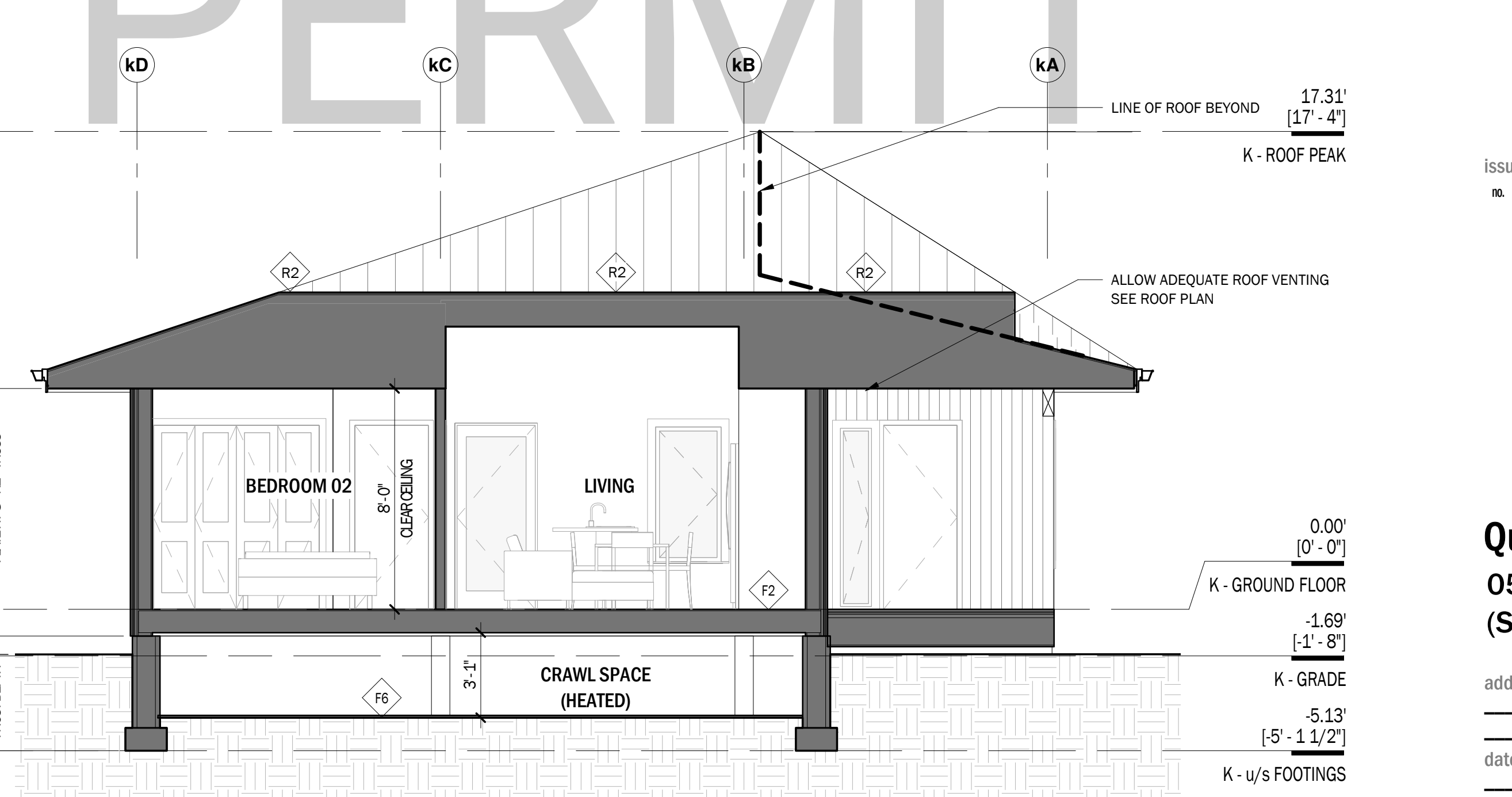
4 SECTION 4
1/4" = 1'-0"



1 SECTION 1
1/4" = 1'-0"



3 SECTION 3
1/4" = 1'-0"



2 SECTION 2
1/4" = 1'-0"

NOT FOR PERMIT

issues / revisions:

no.	issue / revision	date

Quesnel ADU
05 KINGFISHER CABIN
(SECONDARY DWELLING)

address: _____ project no. _____
date: _____ scale: 1/4" = 1'-0"

BUILDING SECTIONS

K_A300