Quesnel ADU - 04 Chickadee Cottage

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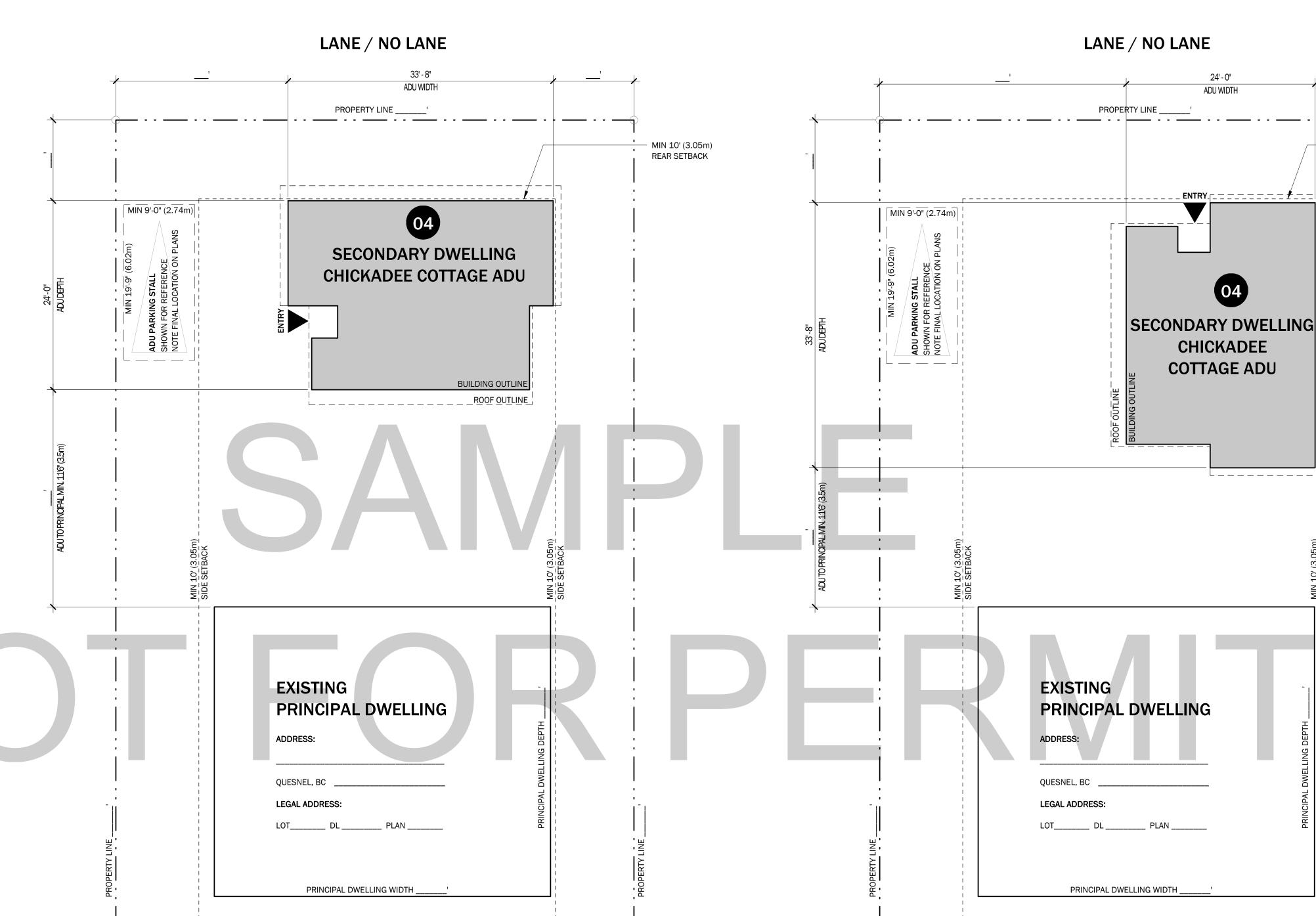
204 - 343 Railway St Vancouver BC V6A 1A4

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MIN 10' (3.05m)

REAR SETBACK



C_A002 NOTES & SCHEDULES
C_A003 ASSEMBLIES
C_A100 FLOOR PLANS
C_A200 BUILDING ELEVATIONS
C_A300 BUILDING SECTIONS

C_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2

C_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4

SCOPE OF WORK

CIVIC ADDRESS:

ZONING:

SITE AREA:

LEGAL DESCRIPTION:

DRAWING LIST

NEW 1143 sf 1.5 STOREY SECONDARY DWELLING ACCESSORY TO PRINCIPAL DWELLING. WITH A LOFTY LIVING SPACE. 2-BEDROOMS & 1 BATHROOM

ZONING AND BYLAW INFORMATION

ISSUED FOR BP

ENERGY SUMMARY

THIS DESIGN MEETS STEP 3 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS: (NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

ASSEMBLIES (PER ASSEMBLIES PAGE)

WALLS:
R-24 BATT INSUL. IN 2x6 @ 24" o.c.
ROOF:
R-50 BATT INSUL. IN 2x12 @ 24" o.c.
EXPOSED FLOOR:
FOUNDATION WALLS:
SLAB ON GRADE:
AIR LEAKAGE:
R-24 BATT INSUL. IN 2x12 @ 24" o.c.
R-28 BATT INSUL. IN 2x10 @ 16" o.c.
8" CONCRETE w/ R-22 ICF BLOCK
SLAB ON GRADE:
AIR LEAKAGE:
2.5 ACH

HVAC

HEATING/COOLING: HEAT PUMP WITH CONDENSING GAS BACKUP
HOT WATER: NATURAL GAS CONDENSING TANKLESS
NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT

VENTILATION: CRV 21 I/s

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE) U 1.5 SHGC 0.3 VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S STREET

PROPERTY LINE _____



2 5

SITE PLAN - OPTION 21/8" = 1'-0"

PROPERTY LINE _____

STREET

Quesnel ADU

04 CHICKADEE COTTAGE
(SECONDARY DWELLING)

issues / revisions:

no. issue / revision

address: project no.

date: scale:

COVER SHEET & SITE PLAN OPTIONS 1 & 2

Quesnel ADU - 04 Chickadee Cottage

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SCOPE OF WORK

ISSUED FOR BP

NEW 1143 sf 1.5 STOREY SECONDARY DWELLING ACCESSORY TO PRINCIPAL DWELLING. WITH A LOFTY LIVING SPACE. 2-BEDROOMS & 1 BATHROOM

ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

ZONING:

SITE AREA:

DRAWING LIST

C_A200 BUILDING ELEVATIONS
C_A300 BUILDING SECTIONS

C_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
C_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
C_A002 NOTES & SCHEDULES
C_A003 ASSEMBLIES
C_A100 FLOOR PLANS

ENERGY SUMMARY

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(NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

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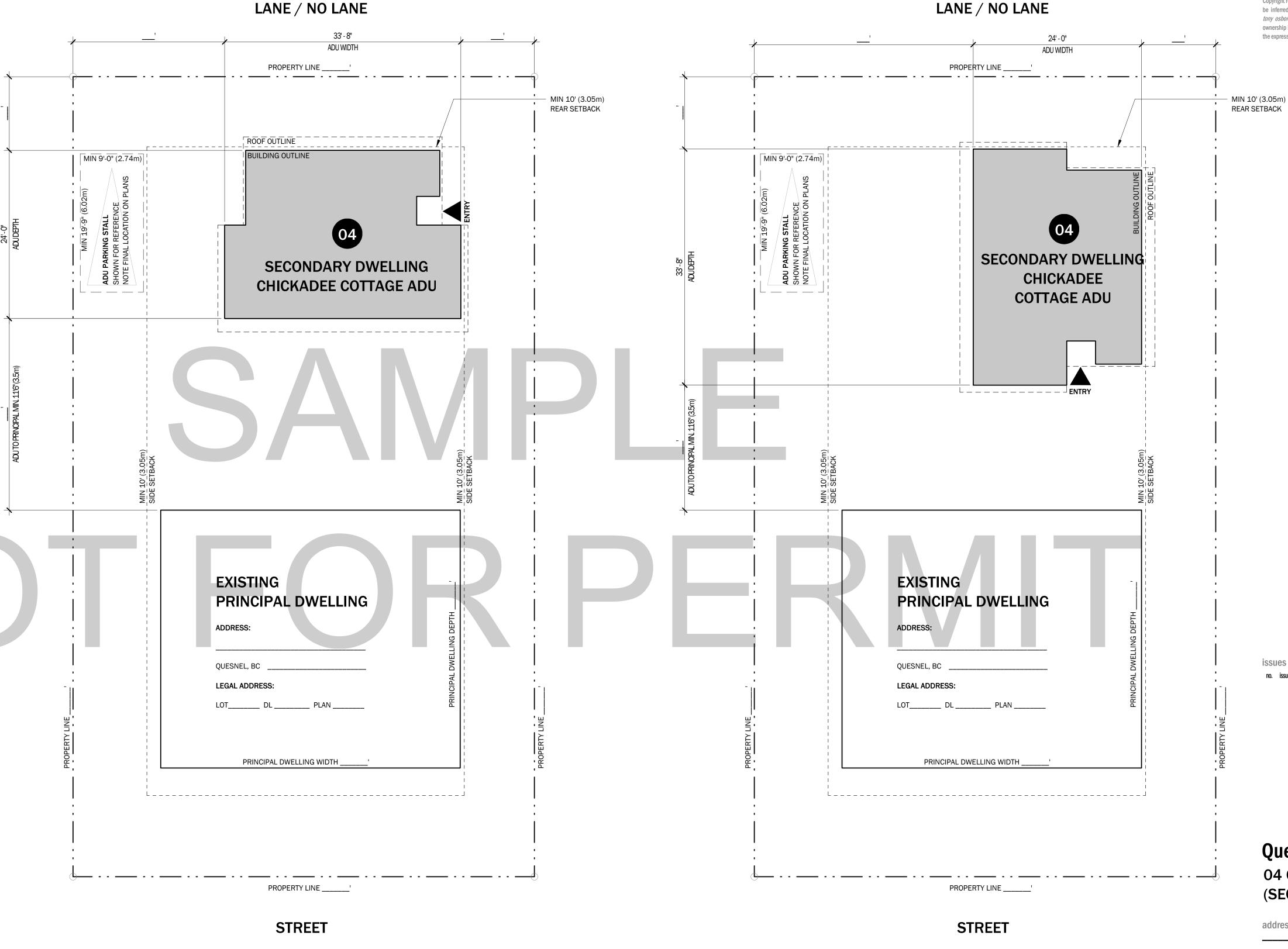
WALLS:
R-24 BATT INSUL. IN 2x6 @ 24" o.c.
ROOF:
R-50 BATT INSUL. IN 2x12 @ 24" o.c.
EXPOSED FLOOR:
R-28 BATT INSUL. IN 2x10 @ 16" o.c.
FOUNDATION WALLS:
SLAB ON GRADE:
AIR LEAKAGE:
R-12 FULL SLAB
2.5 ACH

HVAC

HEATING/COOLING: HEAT PUMP WITH CONDENSING GAS BACKUP
HOT WATER: NATURAL GAS CONDENSING TANKLESS
NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT

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WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE) U 1.5 SHGC 0.3 VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S





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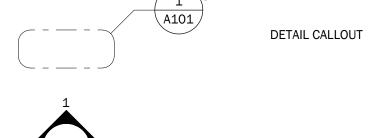
COVER SHEET & SITE PLAN OPTIONS 3 & 4

SITE PLAN - OPTION 3

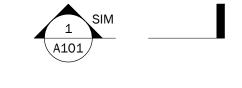
ABBREVIATIONS

ABI	BREVIATIONS		
ADJ	ADJUSTABLE	N/A	NOT APPLICABLE
	ABOVE FINISHED FLOOR	NIC	
ALUM		No.	NUMBER
AMB	AIR & MOISTURE BARRIER	NTS	NOT TO SCALE
ANN	ANNUNNCIATOR PANEL		
ANOD		O.C.	ON CENTRE
ARCH	ARCHITECTURAL	O.D	OVERFLOW DRAIN
		ОН	OVER HEAD
	BACK TO BACK	OPP	OPPOSITE
BD	BOARD		OPENING
BG BLDC	BUILDING GRADE BUILDING	OS OWSJ	
	BLOCKING	04433	OF LIN WEB STELL JOIST
	BTM BOTTOM	PKG	PARKING
•	BOTTOM OF	PLAM	
B/S	BOTH SIDES	PL	PLATE
		PLY	PLYWOOD
CB	CATCH BASIN		PAINTED
CC	CLOSED CELL		POWDER COATED
CG	CORNER GUARD CONTROL JOINT	PT	
CL CJ	CENTRE LINE	P&S	PEEL & STICK (SEE SAM)
CLR	CLEAR	RB	RUBBER BASE
C.O.	CONCRETE OPENING	R.C.B.	
COL	COLUMN	RD	
CONC	CONCRETE	R.O.	ROUGH OPENING
CONT	CONTINUOUS	REQ`D	REQUIRED
c/w	COMPLETE WITH		REQUIREMENT
		RET'N	
DD	DECK DRAIN	REV	
DF DIM	DRINKING FOUNTAIN DIMENSION	RM RWL	
DIN	DOWN	TVVL	NAIN WATER ELADER
DWG	DRAWING	SAM	SELF ADHERED MEMBRANE
			(PEEL & STICK)
	EXHAUST AIR		SECTION
E.G.	EXISTING GRADE		SIMILAR
	EXPANSION JOINT	SPEC	SPECIFICATION
	ELECTRICAL STATION	SQ	SQUARE
,	EV ELEVATION EQUAL	SS	SQUARE STAINLESS STEEL STEEL
_	EQP EQUIPMENT	STD	STANDARD
- ,	EACH SIDE		STRUCTURAL
EX / EX	STG EXISTING		
	EXPANSION		TOP OF
EXT'R	EXTERIOR		TYPICAL
	51 005 55 M		N TRANSITION
	FLOOR DRAIN	TWS	TACTILE WARNING SURFACE
F.D.C	FIRE DEPARTMENT CONNECTION (OR CABINET)	LINO	UNLESS NOTED OTHERIWSE
FFC	FIRE EXTINGUISHER CABINET		UNDERSIDE
FF		0,0	OND ENGINE
F.G.	FINISHED GRADE	VB	VAPOUR BARRIER / RETARDER
FIN.	FINISH		VINYL COMPOSITION TILE
FLR	FLOOR		VERTICAL
	FALL RESTRAINT	VOSAM	VAPOUR-OPEN SELF-ADHERED
FRM'G	FRAMING		MEMBRANE
Ga	GAUGE	w/	WITH
	GALVANIZED		WITHOUT
	GALVANIZED IRON	, -	
	GLAZING	WWM	WELDED WIRE MESH
	GALVANIZED SHEET METAL		
GWB	GYPSUM WALL BOARD / DRYWALL		
ш	HOOF PIPP	MA	TERIALS
	HOSE BIBB HORIZONTAL	AL	
	HOUR		ALUMINUM-CLAD VINYL
	HR EXT HANDRAIL EXTENSION		ANODIZED
		BG	
HSS	HOLLOW STEEL SECTION	CHL	CHAINLINK (GALVANIZED)
HWT	HOT WATER TANK	EM	EXPANDED METAL MESH
		FG	FIBERGLASS
I.D.	INSIDE DIAMETER		GLASS (TEMPERED)
1.0	(OR INTERIOR DESIGN)	GF GW	FROSTED GLASS (TEMPERED) WIRED GLASS
I.G. INSUL.	INTERPOLATED GRADE INSULATION	GW I	INSULATED
INJUL.	INTERIOR	P	PAINT
	-	PC	POWDER COATED
LA	LANDSCAPE ARCHITECT	PSF	PRESSED STEEL FRAME
LG	LONG	PF	PREFINISHED
LOC	LOCATION	PM	PRESSED METAL
LS	LANDSCAPE	SCW	SOLID CORE WOOD
N A A V	NAAVINALINA	STL	STEEL STEEL
MAX MECH	MAXIMUM MECHANICAL	STG SW	GALVANIZED STEEL STAINED WOOD

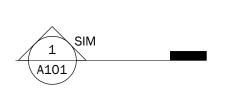
SYMBOL LEGEND



ELEVATION MARKER



BUILDING SECTION MARKER



SECTION MARKER

 (GL)

GRID LINE

102000 NAME T.O. FLOOR

LEVEL MARKER

100'-0"

SPOT ELEVATION MARKER

NORTH ARROW



REVISION CLOUD

REVISION TAG

ROOM TAG

STAIR TAG

DOOR TAG

WINDOW TAG

ASSEMBLY TAG (WALL, FLOOR, ROOF)

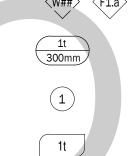
CEILING TAG

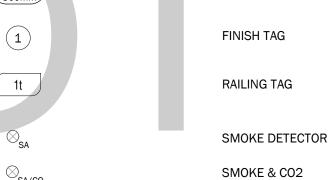
DETECTOR

DRAWING TITLE

Room name 101 150 SF 20R@61/2"

10 T @ 11" D100







STAINED WOOD

VINYL W WOOD



GENERAL NOTES

1 THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED

2 ALL WORK CARRIED OUT SHALL CONFORM TO BC BUILDING CODE 2018 (AND/OR APPLICABLE BYLAWS & REGULATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION). 3 ALL PLANS MUST BE CHECKED AND APPROVED BY A QUALIFIED STRUCTURAL ENGINEER; AND SOIL ENGINEER IF NECESSARY.

4 CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER. 5 DESIGNER ASSUMES NO LIABILITY FOR ERROR, OMISSION, DEFICIENCY, DESIGN OR STRUCTURAL FLAW

6 DO NOT SCALE DRAWINGS.

7 CONTRACTOR IS RESPONSIBLE FOR ON SITE LOCATION OF BUILDING AND SERVICES. BUILDING SETBACKS TO BE CONFIRMED WITH SURVEYOR PRIOR TO CONSTRUCTION.

8 ALL CONCRETE FORMWORK, SHORING FOR THE EXCAVATION AND UNDERPINNING OF ADJACENT STRUCTURES, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED IN ACCORDANCE WITH W.C.B. REGULATIONS.

9 CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.

11 OPENING SIZES FOR MANUFACTURED COMPONENTS TO BE VERIFIED WITH EACH INDIVIDUAL

10 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE, AND W.C.B.

SUPPLIER OR MANUFACTURER. 12 PROVIDE ALUM. / GALV. STEEL FLASHING OVER ALL EXTERIOR WALL OPENINGS, DOORS, WINDOWS, PARAPETS, ROOF CURES, AND AROUND ALL ROOF PENETRATIONS.

13 CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS. 14 ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH

CONTINUOUS CLOSED CELL POLYETHYLENE DAMP-PROOFING STRIPS. 15 PROVIDE MINIMUM 8" CLEARANCE BETWEEN FINISHED GRADE AND STUCCO, WOOD, OR ANY FINISHES.

16 FACTORY BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO ULC S 610, "STANDARD FOR FACTORY BUILT FIREPLACES".

17 PROVIDE CONTINUOUS MIN. 4" DIA. PERFORATED PLASTIC DRAIN PIPE WITH MIN. 6" CLEAN GRAVEL COVER TO ENTIRE PERIMETER OF BUILDINGS. CONNECT ALL ROOF, PATIO / DECK, PORCH, PARKING, AND FOUNDATION DRAINAGE TO STORM SEWER.

18 PROVIDE 2 LAYERS OF BITUMINOUS DAMP-PROOFING OVER CONCRETE FOUNDATION WALLS IN CONTACT WITH GRADE, DOWN TO FOOTING.

19 CEILING INSULATION SHALL NOT OBSTRUCT SOFFIT VENTILATION. STOPS OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND UNDERSIDE OF ROOF ASSEMBLY.

20 FACTORY BUILT GLASS / PLASTIC SKYLIGHTS SHALL MEET PERFORMANCE REQUIREMENTS OF CGSP 63-GP-14M.

21 ALL GLAZING EXTENDING LESS THAN 12" ABOVE FINISHED FLOOR SHALL BE TEMPERED. 22 EXCEPT FOR SPRINKLERED BUILDINGS, PROVIDE WINDOW ACCESS TO THE EXTERIOR FOR ALL BEDROOMS CONFORMING TO BCBC SENTENCE 9.7.1.3 & 9.7.1.4.

23 SMOKE ALARMS TO COMPLY WITH BCBC 9.10.19 & 9.36.2.20. INSTALL SMOKE ALARM / CARBON MONOXIDE DETECTOR CONFORMING TO ULC-S531 "STANDARD FOR SMOKE ALARMS" TO EACH STOREY.

24 PROVIDE MECHANICAL VENTILATION SYSTEM AT LEAST ONE HALF AN AIR CHANGE PER

25 ALL WALLS DIMENSIONED FROM FACE OF SHEATHING, DRYWALL, OR CONCRETE. 26 WHERE SHOWN, MILLWORK AND CABINETS DIMENSIONED FROM FACE OF DRYWALL. 27 GRID LINES ARE TO FACE OF CONCRETE, SHEATHING, OR DRYWALL.

28 EXTERIOR WALL SHEATHING TO ALIGN WITH FACE OF CONCRETE. 29 FRAMING LUMBER TO BE D.FIR #2 OR BETTER.

30 STRUCTURAL CONCRETE TO BE 25MPa.

31 PER BCBC 2018 9.19.1.2, PROVIDE VENTING OF ROOF CAVITY VIA UNOBSTRUCTED VENT AREA NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. ROOF VENTS TO BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING.

ENERGY COMPLIANCE:

THIS PROJECT IS DESIGNED TO COMPLY & EXCEED STEP 3 OF THE BC ENERGY STEP CODE.

AREAS SUMMARY:

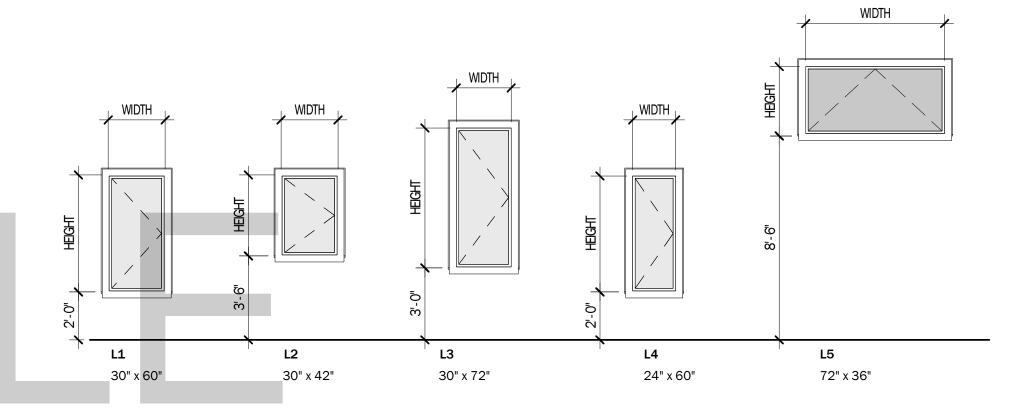
731.0sf 412.3 sf SECOND FLOOR 1143.3 sf TOTAL DWELLING

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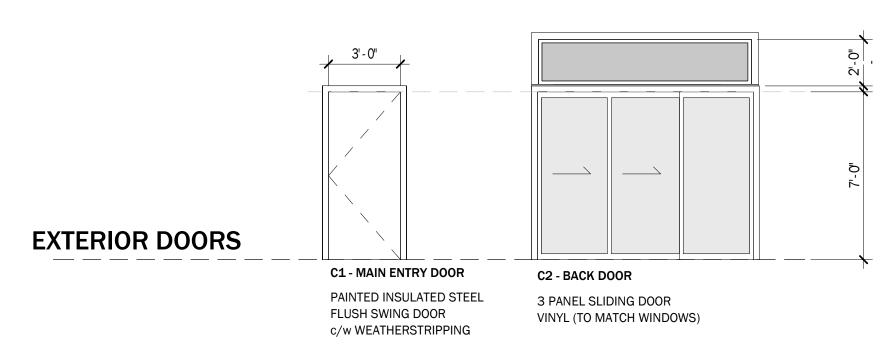
Type Mark	Width	Height	Sill Height	Head Height	Count
L1	2' - 6"	5' - 0"	2' - 0"	7' - 0"	7
L2	2' - 6"	3' - 6"	3' - 6"	7' - 0"	2
L3	2' - 6"	6' - 0"	3' - 0"	9' - 0"	1
L4	2' - 0"	5' - 0"	2' - 0"	7' - 0"	1
L5	6' - 0"	3' - 0"	8' - 10"	11' - 10"	4

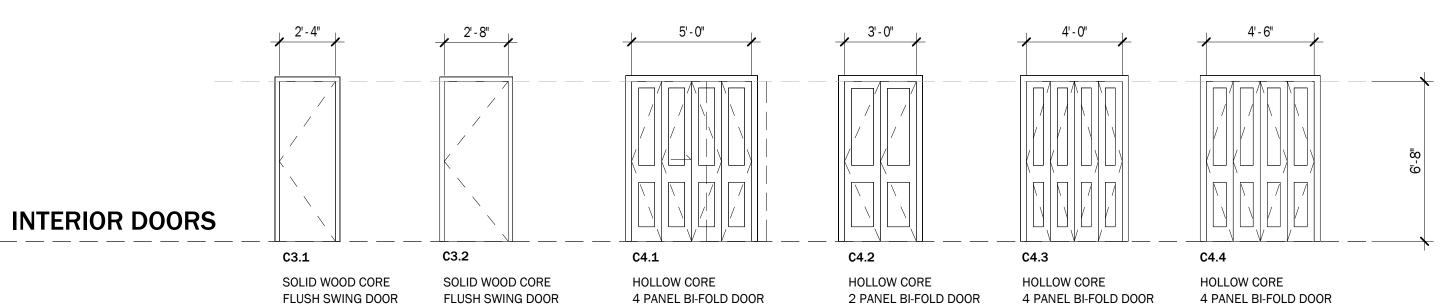
REQUIRED WINDOW SPECs: VINYL FRAMES DOUBLE GLAZED LOW-E ARGON FILLED U 1.5 SHGC 0.3



Mark	Width	Height	Material	Finish	Frame Material	Count	Comments
C1	3' - 0"	7' - 0"	I, STL		W	1	
C2	9' - 0"	7' - 0"	V		V	1	
C3.1	2' - 4"	6' - 8"	SCW	Р	W	1	
C3.2	2' - 8"	6' - 8"	SCW	Р	W	4	
C4.1	5' - 0"	6' - 8"	W	Р	W	1	
C4.2	3' - 0"	6' - 8"	W	Р	W	1	
C4.3	4' - 0"	6' - 8"	W	Р	W	2	
C4.4	4' - 6"	6' - 8"	W	Р	W	1	

issues / revisions:





Quesnel ADU 04 CHICKADEE COTTAGE (SECONDARY DWELLING)

project no.

1/4" = 1'-0"

NOTES & SCHEDULES

C_A002

MECH MECHANICAL

M.O. MASONRY OPENING

2 X 4 CROSS PURLINS INSTALLED PERPENDICULAR TO THE FLOOR JOISTS / TJI'S

FOR AIR VENTILATION PER THE SEPEMENTS OF BCBC

2 X - TAPERED SHIMS INSTAIR

CREATE 1/4" IN 12 NOT LARDS EDGE / DRAINS)

2 X 10 FLOOR JOISTS OF LOS

R28 HIGH DENSITY BATT. INSULATION 6 MIL. UV RATED POLY VAPOUR BARRIER

5/8" TYPE 'X' GWB

GENERAL CONSTRUCTION NOTES

- 1. SITE CONDITIONS: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. REPORT ALL SITE DISCREPANCIES IN WRITING TO DRAWING CONSULTANT.
- 2. <u>DIMENSIONS:</u> ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
- 3. CONFORMANCE: WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BC BUILDING CODE 2018 AND ALL PROVINCIAL CODES & MUNICIPAL BYLAWS.
- 4. CONSTRUCTION SAFETY: THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
- 5. <u>INSURANCES:</u> THE CONTRACTOR SHALL MAINTAIN AT HIS COST ALL NECESSARY INSURANCES INCLUDING THOSE ASKED FOR BY THE PROPRIETOR. THE PROPRIETOR SHALL INFORM HIS FIRE INSURANCE CO. OF WORK TO BE DONE.
- 6. SITE PREPARATION: INSTALL TEMPORARY DUSTPROOF PARTITIONS & ACCESS AROUND THE WORK
- 7. <u>DEMOLITION:</u> CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS. SUPPLY TEMPORARY SUPPORTS WHERE REQUIRED AS PER CODES & NORMS. REPAIR ADJACENT SURFACES.
- 8. MATERIALS: ONLY NEW MATERIALS SHALL BE USED. ALL MATERIALS SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- 9. <u>SCHEDULING:</u> IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE TO DRAWING CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 10. WINDOWS AND DOORS ARE NOTED AS NOMINAL SIZES, ROUGH OPENINGS TO BE CONFIRMED WITH MANUFACTURER REQUIREMENTS.
- 11. SHOP DRAWINGS: FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS
- 12. BACKING: PROVIDE BACKING IN STUD SPACE TO MECHANICALLY FASTEN GRAB BARS, HANDRAILS, GUARDRAILS, WALL-MOUNT ACCESSORIES, SHELVING & DISPLAY SYSTEMS TO SEISMIC AND STRUCTURAL REQUIREMENTS.
- 13. <u>ELECTRICAL SERVICE:</u> ELECTRICAL INFORMATION ON DRAWINGS IS FOR LAYOUT PURPOSES ONLY. ELECTRICAL CONTRACTOR TO ASSESS EXISTING SERVICE AND CONDITION. PROVIDE MODIFICATIONS AND UPGRADES TO SERVICE TO ACCOMMODATE PROPOSED DESIGN AS REQUIRED.
- 14. <u>ELECTRICAL PERMITS:</u> PROVIDE ELECTRICAL PERMIT FOR ELECTRICAL WORK INDICATED ON DRAWINGS. SUBMIT PERMIT & INSPECTION REPORTS TO ARCHITECT (AND CONSULTANT IF
- 15. <u>ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS</u>, ETC. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS & RECESSED CABINETS OR FIXTURES.
- 16. FIRE SEPARATIONS: THE DEMISING WALLS ARE TO REMAIN AS EXISTING. IT IS THE OWNER'S RESPONSIBILITY THAT THE FIRE RATING OF THE DEMISING WALLS ARE THE MINIMUM RATING AS REQUIRED BY THE CURRENT BUILDING CODE AND ALL CURRENT PROVINCIAL & MUNICIPAL BYLAWS & CODES.
- 17. FIRE RATING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND MAINTAIN THE FIRE RATING OF THE STRUCTURAL ELEMENTS REQUIRED BY ALL CURRENT PROVINCIAL CODES &

INTERIOR WALL GENERAL NOTES

- ALL INTERIOR PARTITIONS ADJACENT TO WATER CLOSETS TO HAVE BATT INSULATION FULL HEIGHT FOR SOUND ATTENUATION.
- LEVEL 4 FINISH ON ALL INTERIOR GWB SURFACES (LEVEL 4 JOINT COMPOUND ON JOINTS AND SCREW HEADS ONLY, SANDED SMOOTH)
- 3. APPLY MILDEW RESISTANT SEALANT AROUND ALL WET AREAS INCLUDING BUT NOT LIMITED TO THE KITCHEN, BATH AND LAUNDRY TO FORM WATERTIGHT SEALS AROUND ALL FIXTURES, VANITIES, COUNTERTOPS, FAUCETS, DRAINS, ETC.
- 4. ALL ACCESSIBLE AND ADAPTABLE UNITS TO HAVE 1/2" PLYWOOD LET INTO STUDS FROM 24" AFF TO 5'-0" AFF FOR GRAB BAR AND ACCESSORY MOUNTING IN WASHROOM

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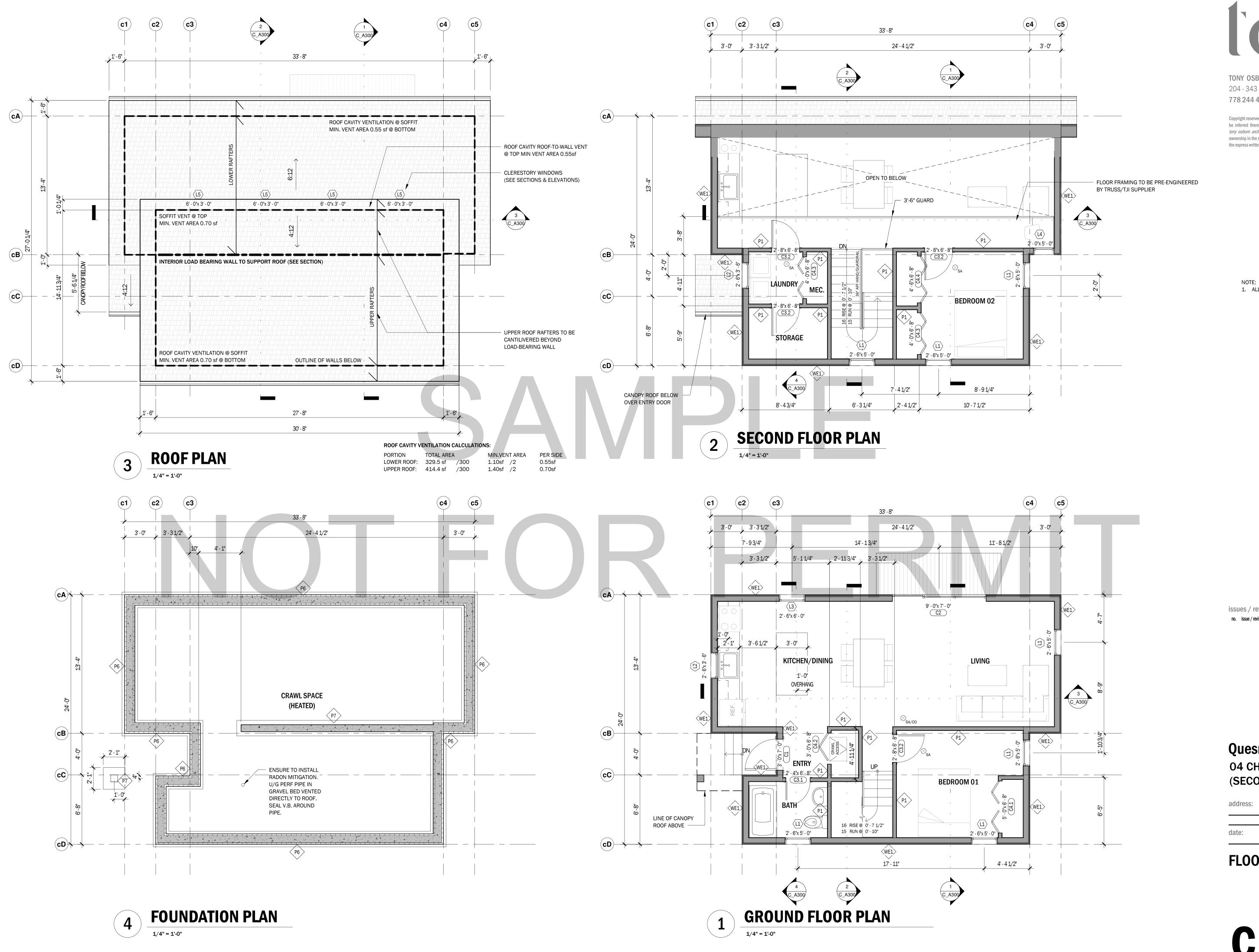
Quesnel ADU 04 CHICKADEE COTTAGE

(SECONDARY DWELLING)

project no.

1" = 1'-0"

ASSEMBLIES



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1. ALL WALLS <P1> UNO

issues / revisions:

Quesnel ADU 04 CHICKADEE COTTAGE (SECONDARY DWELLING)

FLOOR PLANS



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[-1' - 8"] C - GRADE

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(c4) [24' - 2 1/2"] C - t/o UPPER ROOF 20.74' [20' - 9"] C - t/o LOWER ROOF 2' - 6"x 5' - 0" 2' - 6"x 5' - 0" 9.92' [9' - 11"] C - SECOND FLOOR 2' - 6"x 5' - 0" 2' - 6"x 5' - 0" [0' - 0"] C - GROUND FLOOR

ELEVATION 2 1/4" = 1'-0"



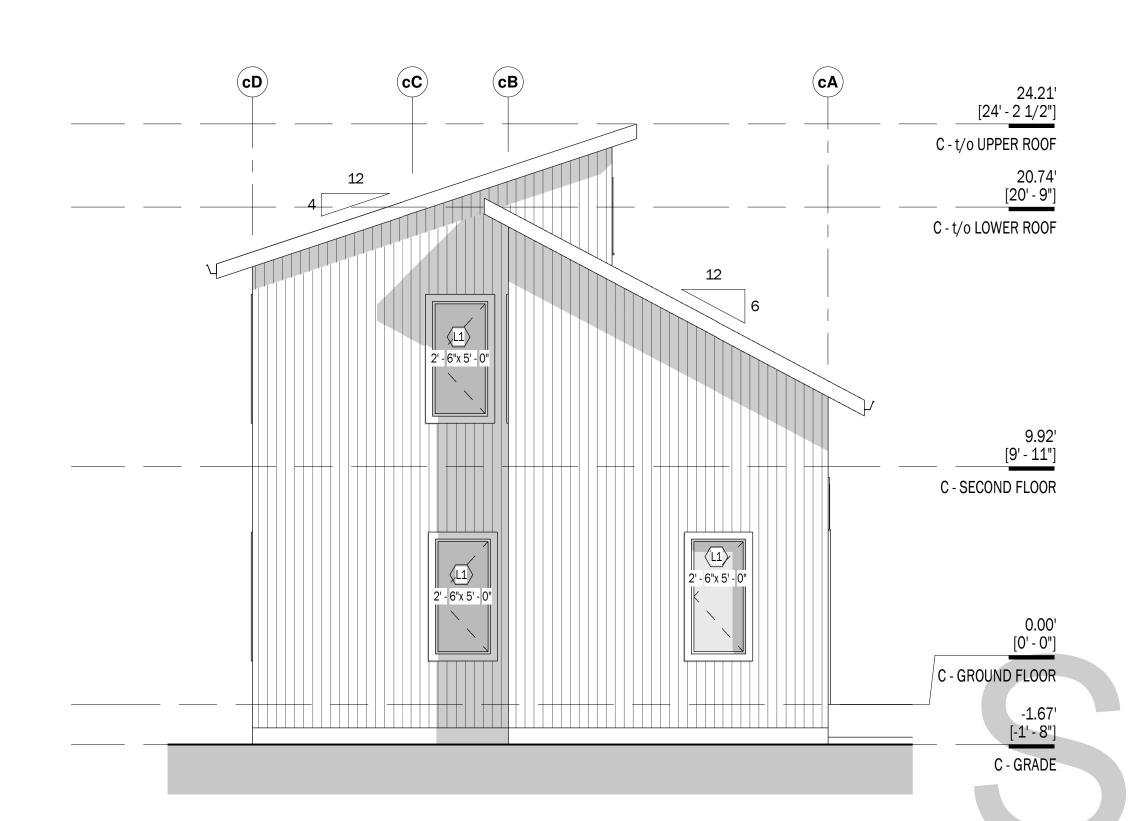
Quesnel ADU 04 CHICKADEE COTTAGE (SECONDARY DWELLING)

issues / revisions:

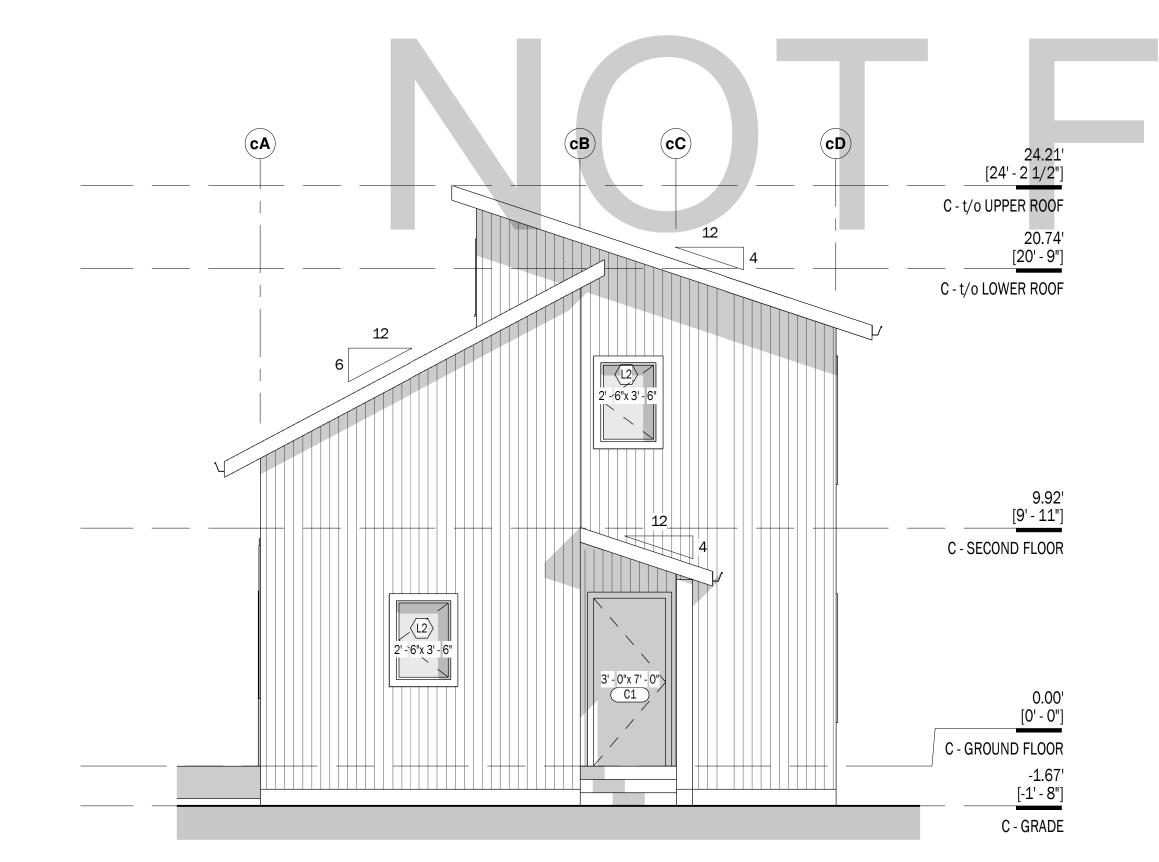
scale: 1/4" = 1'-0"

BUILDING ELEVATIONS









TONY OSBORN ARCHITECTURE + DESIGN INC. 204 - 343 Railway St Vancouver BC V6A 1A4 778 244 4470 www.toad.design

24.21' [24' - 2 1/2"]

20.74'

[20' - 9"]

[9' - 11"]

[0' - 0"]

[-1' - 8"]

C - GRADE

[-5' - 1 1/2"]

C - u/s FOOTINGS

C - t/o UPPER ROOF

C - t/o LOWER ROOF

GUARD & HANDRAIL 9.92'

C - SECOND FLOOR

C - GROUND FLOOR

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ENSURE ROOF CAVITY VENTILATION IS MAINTAINED (SEE ROOF PLAN) THRU SOFFIT VENT @ TOP & BOTTOM

ENSURE ROOF CAVITY VENTILATION IS

MAINTAINED (SEE ROOF PLAN) THRU SOFFIT VENT @ BOTTOM & ROOF-TO-WALL VENT & TOP

2x6 OVERHANG RAFTERS SISTERED UP TO MAIN ROOF RAFTERS WEATHERPROOF FASCIA BOARD & METAL GUTTER

1'-0" EAVE PROTECTION

INBOARD OF EXTERIOR WALL

TYP. WALL SECTION

ROOFING FELT TO LAP OVER

PRE-STRIP T.O. WALLS FOR

AIR BARRIER TRANSITION

SPRAY FOAM @ RIM JOIST

SPRAY FOAM @ RIM JOIST

OFFSET EXTERIOR WALL OVER CONCRETE TO ALIGN FOUND'N INSUL'N w/ SHEATHING

SEAL V.B. @ ALL EDGES -

TO SEAL AS AIR & VAPOUR BARRIER

TO SEAL AS AIR & VAPOUR BARRIER

 $^{\prime}$ DRIP EDGE FLASHING OVER GUTTER w/ SAM LAPPED OVER

SOFFIT FINISH c/w VENTS TO ALLOW ROOF VENTILATION

SELF-ADHERED MEMBRANE (SAM) TO EXTEND

MIN 12" INBOARD OF EXT'R WALL AS ICE-DAM

PROVIDE BAFFLE @ RAFTER ENDS TO

MAINTAIN VENTILATION CAVITY

EAVE PROTECTION. TYPICAL @ ALL OVERHANGS

PT SILL PLATE c/w CC FOAM SILL GASKET

TRANSITION FLASHING @ WOOD TO CONCRETE c/w SELF-ADHERED MEMBRANE LAP OVER

CONTINUOUS DAMP-PROOFING

MEMBRANE FROM WALL TO FOOTING GRAVEL DRAINAGE LAYER SURROUNDING

DRAINAGE PIPE c/w FILTER FABRIC SURROUND

ERFORATED DRAINAGE PIPE @ PERIMETER FOOTINGS

C - u/s FOOTINGS

CRAWL SPACE

(HEATED)

GRADE

24.21' [24' - 2 1/2"] C - t/o UPPER ROOF 20.74' [20' - 9"] C - t/o LOWER ROOF EXPOSED RAFTERS / TRUSSES PAINT WHITE TO MATCH CEILING 9.92' [9' - 11"] C - SECOND FLOOR KITCHEN/DINING LIVING 0.00' C - GROUND FLOOR [-1' - 8"] **CRAWL SPACE** GRADE C - GRADE (HEATED) -5.13' [-5' - 1 1/2"]

24.21' [24' - 2 1/2"] C - t/o UPPER ROOF 20.74' [20' - 9"] RAFTERS / TRUSSES TO CANTILEVER FROM STRUCTURAL WALL C - t/o LOWER ROOF STRUCTURAL WALL EXPOSED RAFTERS / TRUSSES — PAINT WHITE TO MATCH CEILING 9.92' [9' - 11"] C - SECOND FLOOR [0' - 0"] C - GROUND FLOOR [-1' - 8"] **CRAWL SPACE** C - GRADE -5.13' [-5' - 1 1/2"] C - u/s FOOTINGS ENSURE TO INSTALL RADON MITIGATION. U/G PERF PIPE IN GRAVEL BED VENTED

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issues / revisions:

no. issue / revision

project no. As indicated

BUILDING SECTIONS



PROVIDE BAFFLE @ RAFTER

ENDS TO MAINTAIN

VENTILATION CAVITY

DRIP EDGE FLASHING

OVER GUTTER w/ SAM

2x3 @ 16 o.c. TO PROVIDE

VENTILATION CAVITY c/w

WEATHERPROOF FASCIA

BOARD & METAL GUTTER

LAPPED OVER

INSECT SCREEN



ROOFING FELT TO

LAP OVER SAM

PRE-STRIP T.O.

WALLS FOR AIR

BARRIER TRANSITION

NO OVERHANG OPTION