

Quesnel ADU - 04 Chickadee Cottage

ISSUED FOR BP

DATE

ADDRESS



SCOPE OF WORK

NEW 1143 sq ft 1.5 STOREY SECONDARY DWELLING ACCESSORY TO PRINCIPAL DWELLING. WITH A LOFTY LIVING SPACE, 2-BEDROOMS & 1 BATHROOM

ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

PID:

ZONING:

SITE AREA:

DRAWING LIST

- C_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
- C_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
- C_A002 NOTES & SCHEDULES
- C_A003 ASSEMBLIES
- C_A100 FLOOR PLANS
- C_A200 BUILDING ELEVATIONS
- C_A300 BUILDING SECTIONS

ENERGY SUMMARY

THIS DESIGN MEETS STEP 3 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS:
(NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

ASSEMBLIES (PER ASSEMBLIES PAGE)

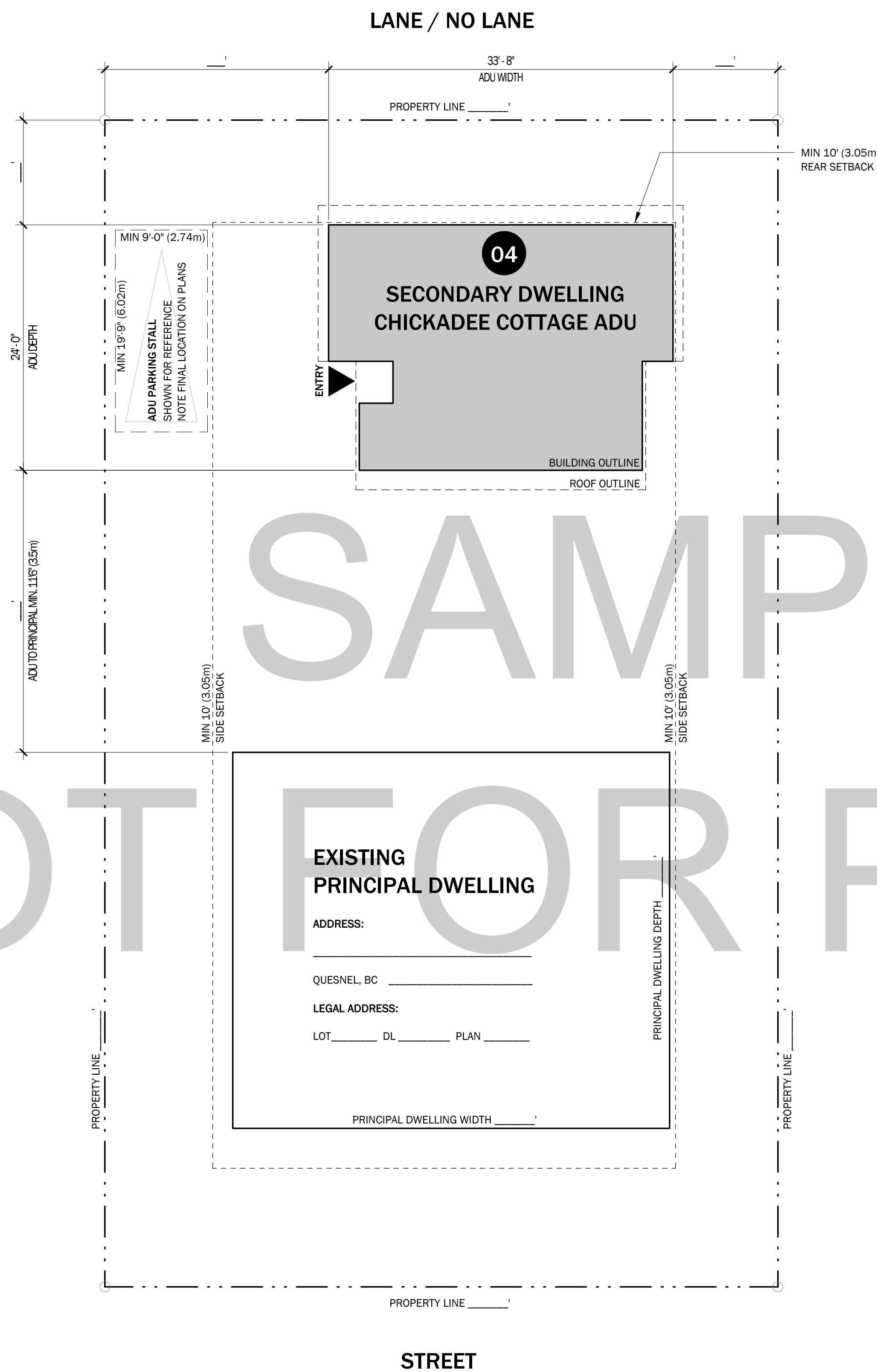
WALLS: R-24 BATT INSUL. IN 2x6 @ 24" o.c.
ROOF: R-50 BATT INSUL. IN 2x12 @ 24" o.c.
EXPOSED FLOOR: R-28 BATT INSUL. IN 2x10 @ 16" o.c.
FOUNDATION WALLS: 8" CONCRETE w/ R-22 ICF BLOCK
SLAB ON GRADE: R-12 FULL SLAB
AIR LEAKAGE: 2.5 ACH

HVAC

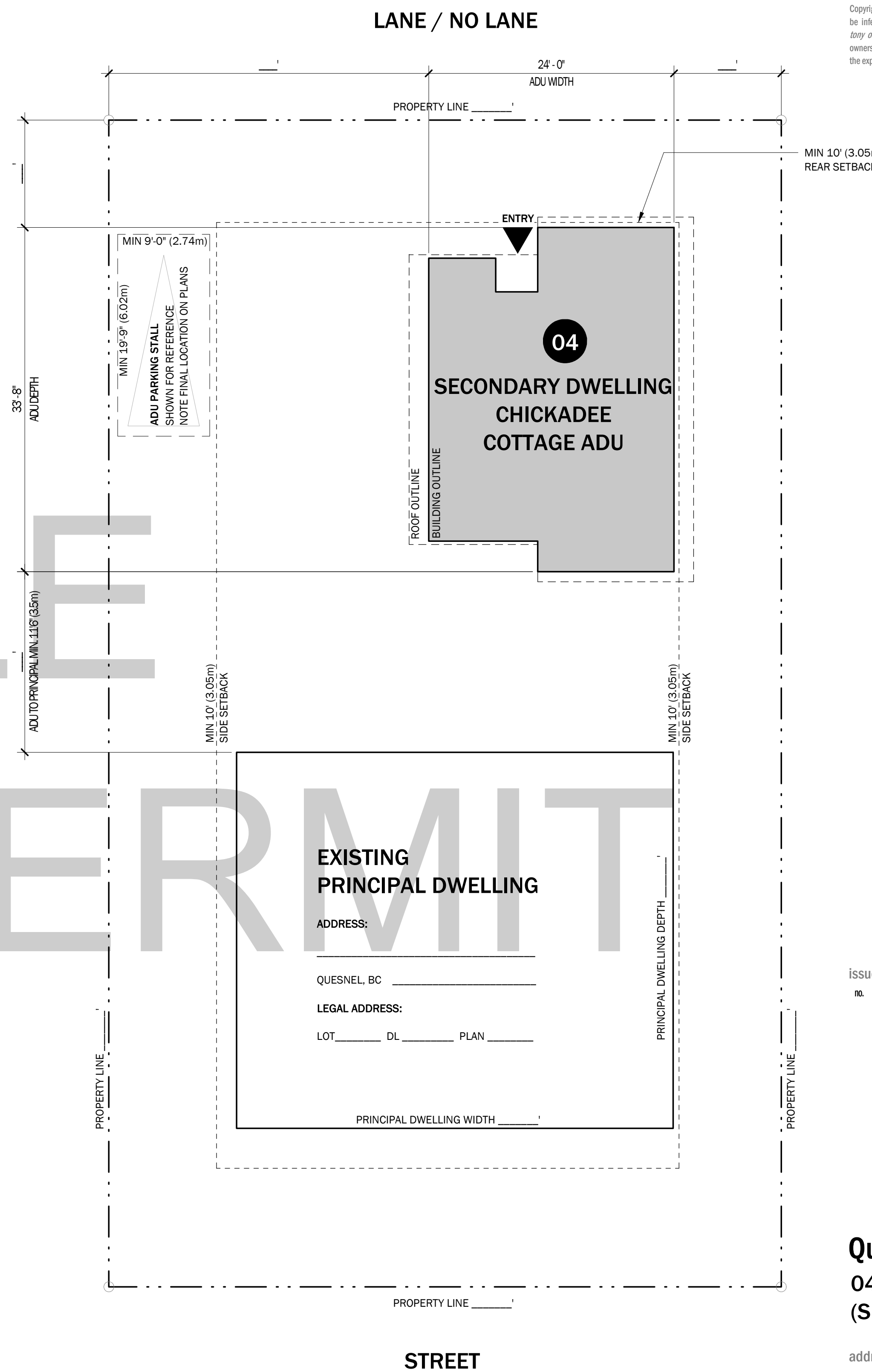
HEATING/COOLING: HEAT PUMP WITH CONDENSING GAS BACKUP
HOT WATER: NATURAL GAS CONDENSING TANKLESS
NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT
VENTILATION: CRV 2.1 l/s

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)

U 1.5 SHGC 0.3
VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S



1 SITE PLAN - OPTION 1
1/8" = 1'-0"



2 SITE PLAN - OPTION 2
1/8" = 1'-0"

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

issues / revisions:

no. issue / revision date

Quesnel ADU
04 CHICKADEE COTTAGE
(SECONDARY DWELLING)

address: _____ project no. _____

date: _____ scale: 1/8" = 1'-0"

COVER SHEET & SITE PLAN OPTIONS 1 & 2

C_A000

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- C_A002 NOTES & SCHEDULES
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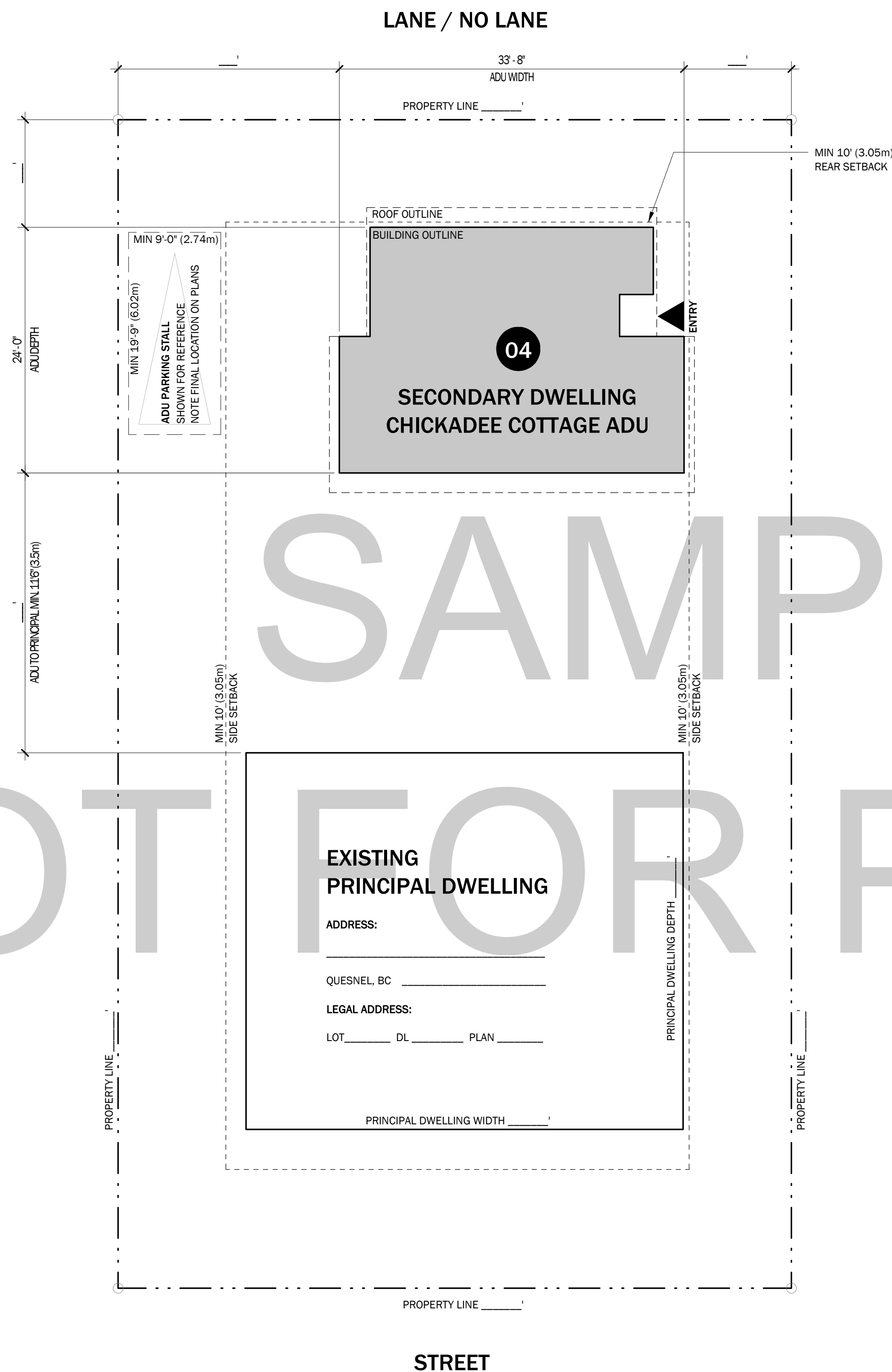
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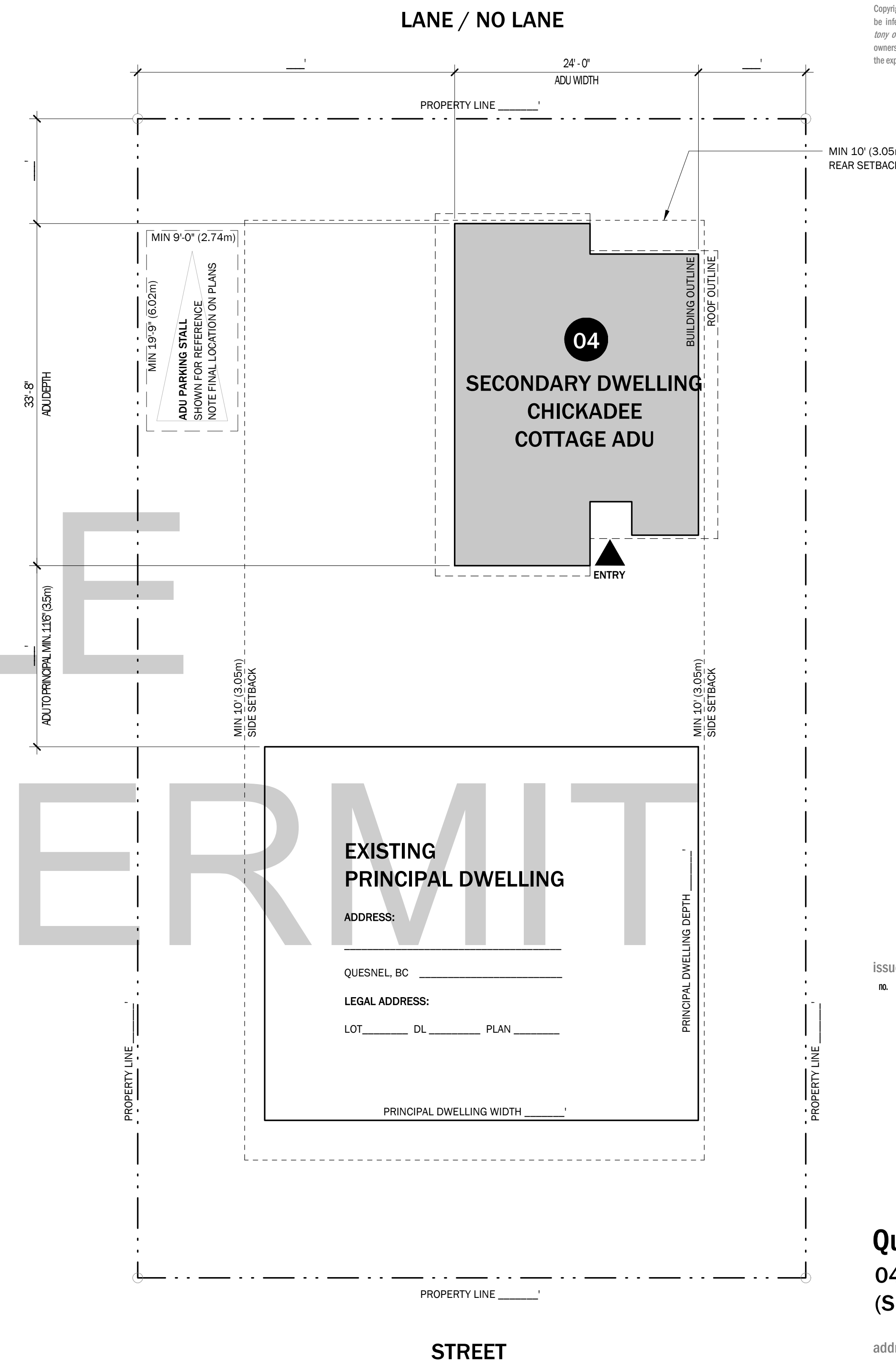
WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)

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VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S



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2 SITE PLAN - OPTION 4

1/8" = 1'-0"

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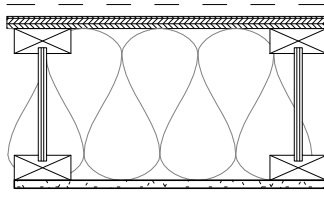
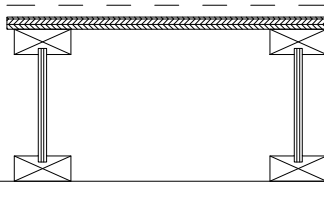
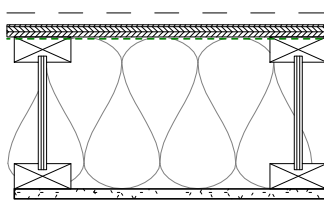
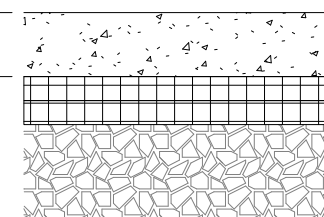
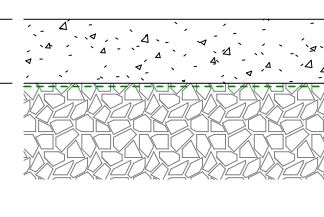
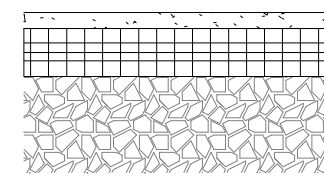
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COVER SHEET & SITE
PLAN OPTIONS 3 & 4

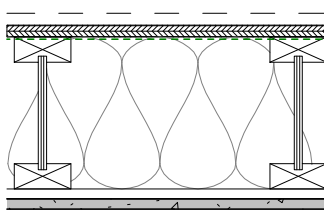
C_A001

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

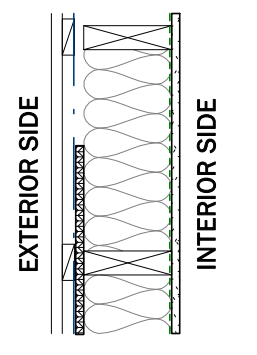
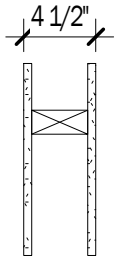
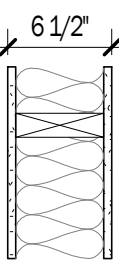
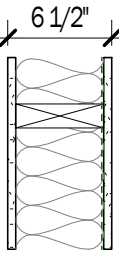
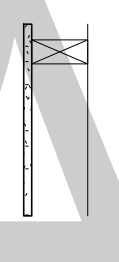
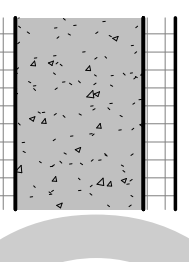
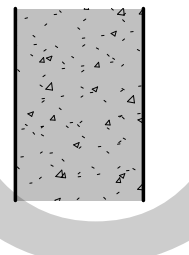
FLOOR TYPES

	FRR	STC	Remarks
F1	0 h	n/a	
	TYPICAL FLOOR FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING 2x10 OR TJI WOOD JOISTS @ 16" o.c. R-6 BATT INSULATION BETWEEN JOISTS 1/2" GWB		
F2	0 h	n/a	
	FLOOR OVER CRAWL SPACE FLOORING FINISH (TBD) 5/8" T & G PLYWOOD SHEATHING 2x10 OR TJI WOOD JOISTS @ 16" o.c.		
F3	0 h	n/a	
	FLOOR OVER GARAGE FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING VAPOUR BARRIER @ PLYWOOD BUTT JOINTS 2x10 OR TJI WOOD JOISTS @ 16" o.c. R-28 BATT INSULATION BETWEEN JOISTS 1/2" GWB		
F4	0 h	n/a	ENSURE TO PROVIDE RADON MITIGATION
	TYPICAL INSULATED SLAB ON GRADE 4" C.I.P. CONCRETE SLAB c/w WELDED MESH REINFORCEMENT 10 MIL POLY VAPOUR BARRIER SEALED AT ALL EDGES 3" RIGID EPS INSULATION MIN 6" COMPACT GRAVEL		
F5	0 h	n/a	ENSURE TO PROVIDE RADON MITIGATION
	SLAB ON GRADE 4" C.I.P. CONCRETE SLAB c/w WELDED MESH REINFORCEMENT 10 MIL POLY VAPOUR BARRIER SEALED AT ALL EDGES MIN 6" COMPACT GRAVEL		
F6	-	-	ENSURE TO PROVIDE RADON MITIGATION
	CONCRETE SLURRY - INSULATED @ CRAWL SPACE 1" CONCRETE SLURRY 10 MIL VAPOUR BARRIER SEALED @ ALL JOINTS 3" RIGID EPS (R-12) INSULATION 6" MIN COMPACT GRAVEL		

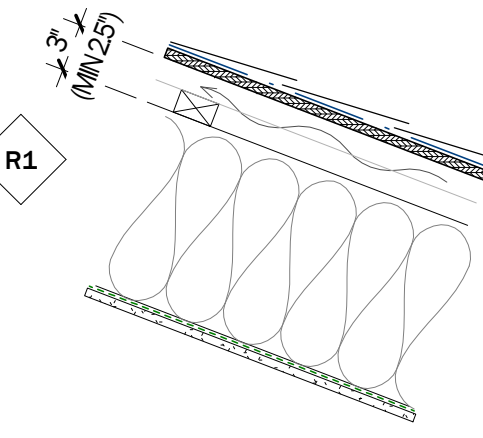
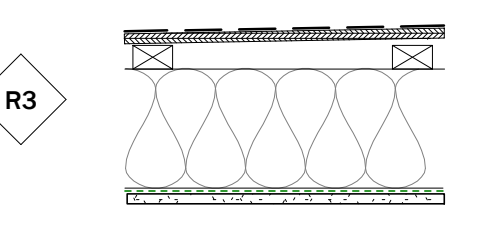
SOFFIT TYPES

	FRR	STC	Remarks
S1	0 h	54 (ICC 48)	FRR & STC REFERENCE: BCBC 2018 Table D-2.3.4.-B & F BCBC 2018 TABLE 9.10.3.1.-B, F2d
	INSULATED SOFFIT OVER UNINSULATED SPACE FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING (BUTT JOINTS TO BE SEALED w/ CLEAR SEALANT) VAPOUR BARRIER PRE-ENG TJI OR 2x10 WOOD JOISTS @ 24" o.c. R-28 BATT INSULATION BETWEEN JOISTS AIR & MOISTURE BARRIER 1/2" CROSS STRAPPING SOFFIT FINISH c/w VENTS		

WALL ASSEMBLIES

	FRR	STC	Remarks / Reference
WE1	0 h	n/a	
	EXTERIOR WALL (RATED) CLADDING PER ELEVATIONS 1/2" x 2" PT PLYWOOD STRAPPING @ 16" o.c. INSTALLED OVER STUDS AIR & MOISTURE BARRIER (TYVEK RAINSCREEN) - TAPE ALL JOINTS (TRANSITION TO VAPOUR & AIR BARRIER @ ROOF - PRE-STRIP TOP PLATES) PLYWOOD SHEATHING - REFER TO STRUC. 2x6 WOOD STUDS @ 24" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL UV RATED POLY VAPOUR BARRIER 1/2" GWB		
P1	0 h	n/a	
	TYPICAL INTERIOR 2x4 PARTITION WALL 1/2" GWB 2x4 WOOD STUDS @ 16" o.c. 1/2" GWB ADD BATT INSULATION AROUND WASHROOMS		
P2	0 h	n/a	
	INTERIOR 2x6 (PLUMBING) PARTITION WALL 1/2" GWB 2x6 WOOD STUDS @ 16" o.c. 1/2" GWB GWB AT INTERIOR FACE OF WASHROOMS TO BE: • PAPERLESS GWB, OR • TILE BACKER BOARD AT TILED AREAS		
P3	1 h	n/a	BCBC 2018 Appendix D Table D-2.3.4.-A & E
	INTERIOR 2x6 PARTITION WALL - GARAGE SEPERATION 5/8" TYPE 'X' GWB 2x6 WOOD STUDS @ 16" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL POLY VAPOUR BARRIER SEAL ALL EDGES (ON SUITE SIDE) 5/8" TYPE 'X' GWB		
P5	0 h	n/a	
	FURRING WALL 1 LAYER OF 1/2" GYPSUM BOARD 2x4 WOOD FRAMING @ 16" o.c. (SEE NOTES)		
P6	0 h	n/a	
	FOUNDATION WALL - INSULATED @ PERIMETER 8" C.I.P. REINFORCED CONCRETE WALLS ICF 2" RIGID EPS (R-22) INSUL'N FORMS BOTH SIDES MINIMUM FOOTING SIZES: STRIP FTGS = 18" WIDE BY 10" POST FTGS = 34" x 34" x 10" (SUPPORTING 2 FLOORS) POST FTGS = 25" x 25" x 10" (SUPPORTING 1 FLOOR)		
P7	0 h	n/a	
	FOUNDATION WALL - UNINSULATED 8" C.I.P. REINFORCED CONCRETE WALLS MINIMUM FOOTING SIZES: STRIP FTGS = 18" WIDE BY 10" POST FTGS = 34" x 34" x 10" (SUPPORTING 2 FLOORS) POST FTGS = 25" x 25" x 10" (SUPPORTING 1 FLOOR)		

ROOF TYPES

	FRR	STC	Remarks
R1	0 h	n/a	
	SLOPED ROOF - VAULTED CEILING (R50) STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION 1/2" EXT. GRADE PLYWOOD SHEATHING 3" (MIN 2.5") AIR GAP 2 LAYERS 2x3 ON FLAT CROSS STRAPPING ENSURE ADEQUATE VENTING @ PERIMETER & RIDGE PRE-ENG TJI RAFTERS OR PARALLEL CHORD TRUSSES R-50 MIN. (L4") BATT INSULATION 6 MIL. POLY AIR & VAPOUR BARRIER 1/2" GWB		
R3	1 h	n/a	
	DECK OVER GARAGE MIN. 60 MIL. PVC (VINYL) DECK MEMBRANE (BACKING WITH WOVEN POLYESTER SCRIM - DURADEK ULTRA OR PRE-APPROVED EQUAL) 5/8" T&G EXTERIOR GRADE PLYWOOD SHEATHING 2 X 4 CROSS PURLINS INSTALLED PERPENDICULAR TO THE FLOOR JOISTS / TJIS FOR AIR VENTILATION PER THE REQUIREMENTS OF BCBC 2 X - TAPERED SHIMS INSTALLED PARALLEL TO FLOOR JOISTS / TJIS (TO CREATE 1/4" IN 12" SLOPE AT EAVES EDGE / DRAINS) 2 X 10 FLOOR JOISTS OR TJIS @ 24" o.c. R28 HIGH DENSITY BATT. INSULATION 6 MIL. UV RATED POLY VAPOUR BARRIER 5/8" TYPE 'X' GWB		

GENERAL CONSTRUCTION NOTES

- SITE CONDITIONS:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. REPORT ALL SITE DISCREPANCIES IN WRITING TO DRAWING CONSULTANT.
- DIMENSIONS:** ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONFORMANCE:** WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BC BUILDING CODE 2018 AND ALL PROVINCIAL CODES & MUNICIPAL BYLAWS.
- CONSTRUCTION SAFETY:** THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
- INSURANCES:** THE CONTRACTOR SHALL MAINTAIN AT HIS COST ALL NECESSARY INSURANCES INCLUDING THOSE ASKED FOR BY THE PROPRIETOR. THE PROPRIETOR SHALL INFORM HIS FIRE INSURANCE CO. OF WORK TO BE DONE.
- SITE PREPARATION:** INSTALL TEMPORARY DUSTPROOF PARTITIONS & ACCESS AROUND THE WORK AREA.
- DEMOLITION:** CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS. SUPPLY TEMPORARY SUPPORTS WHERE REQUIRED AS PER CODES & NORMS. REPAIR ADJACENT SURFACES.
- MATERIALS:** ONLY NEW MATERIALS SHALL BE USED. ALL MATERIALS SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- SCHEDULING:** IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE TO DRAWING CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WINDOWS AND DOORS:** ARE NOTED AS NOMINAL SIZES, ROUGH OPENINGS TO BE CONFIRMED WITH MANUFACTURER REQUIREMENTS.
- SHOP DRAWINGS:** FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS
- BACKING:** PROVIDE BACKING IN STUD SPACE TO MECHANICALLY FASTEN GRAB BARS, HANDRAILS, GUARDRAILS, WALL-MOUNT ACCESSORIES, SHELVING & DISPLAY SYSTEMS TO SEISMIC AND STRUCTURAL REQUIREMENTS.
- ELECTRICAL SERVICE:** ELECTRICAL INFORMATION ON DRAWINGS IS FOR LAYOUT PURPOSES ONLY. ELECTRICAL CONTRACTOR TO ASSESS EXISTING SERVICE AND CONDITION. PROVIDE MODIFICATIONS AND UPGRADES TO SERVICE TO ACCOMMODATE PROPOSED DESIGN AS REQUIRED.
- ELECTRICAL PERMITS:** PROVIDE ELECTRICAL PERMIT FOR ELECTRICAL WORK INDICATED ON DRAWINGS. SUBMIT PERMIT & INSPECTION REPORTS TO ARCHITECT (AND CONSULTANT IF APPLICABLE).
- ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ETC.** LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS & RECESSED CABINETS OR FIXTURES.
- FIRE SEPARATIONS:** THE DEMISING WALLS ARE TO REMAIN AS EXISTING. IT IS THE OWNER'S RESPONSIBILITY THAT THE FIRE RATING OF THE DEMISING WALLS ARE THE MINIMUM RATING AS REQUIRED BY THE CURRENT BUILDING CODE AND ALL CURRENT PROVINCIAL & MUNICIPAL BYLAWS & CODES.
- FIRE RATING:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND MAINTAIN THE FIRE RATING OF THE STRUCTURAL ELEMENTS REQUIRED BY ALL CURRENT PROVINCIAL CODES & MUNICIPAL BYLAWS.

INTERIOR WALL GENERAL NOTES

- ALL INTERIOR PARTITIONS ADJACENT TO WATER CLOSETS TO HAVE BATT INSULATION FULL HEIGHT FOR SOUND ATTENUATION.
- LEVEL 4 FINISH ON ALL INTERIOR GWB SURFACES (LEVEL 4 - JOINT COMPOUND ON JOINTS AND SCREW HEADS ONLY. SANDED SMOOTH)
- APPLY MILDEW RESISTANT SEALANT AROUND ALL WET AREAS INCLUDING BUT NOT LIMITED TO THE KITCHEN, BATH AND LAUNDRY TO FORM WATERTIGHT SEALS AROUND ALL FIXTURES, VANITIES, COUNTERTOPS, FAUCETS, DRAINS, ETC.
- ALL ACCESSIBLE AND ADAPTABLE UNITS TO HAVE 1/2" PLYWOOD LET INTO STUDS FROM 24" AFF TO 5'-0" AFF FOR GRAB BAR AND ACCESSORY MOUNTING IN WASHROOM

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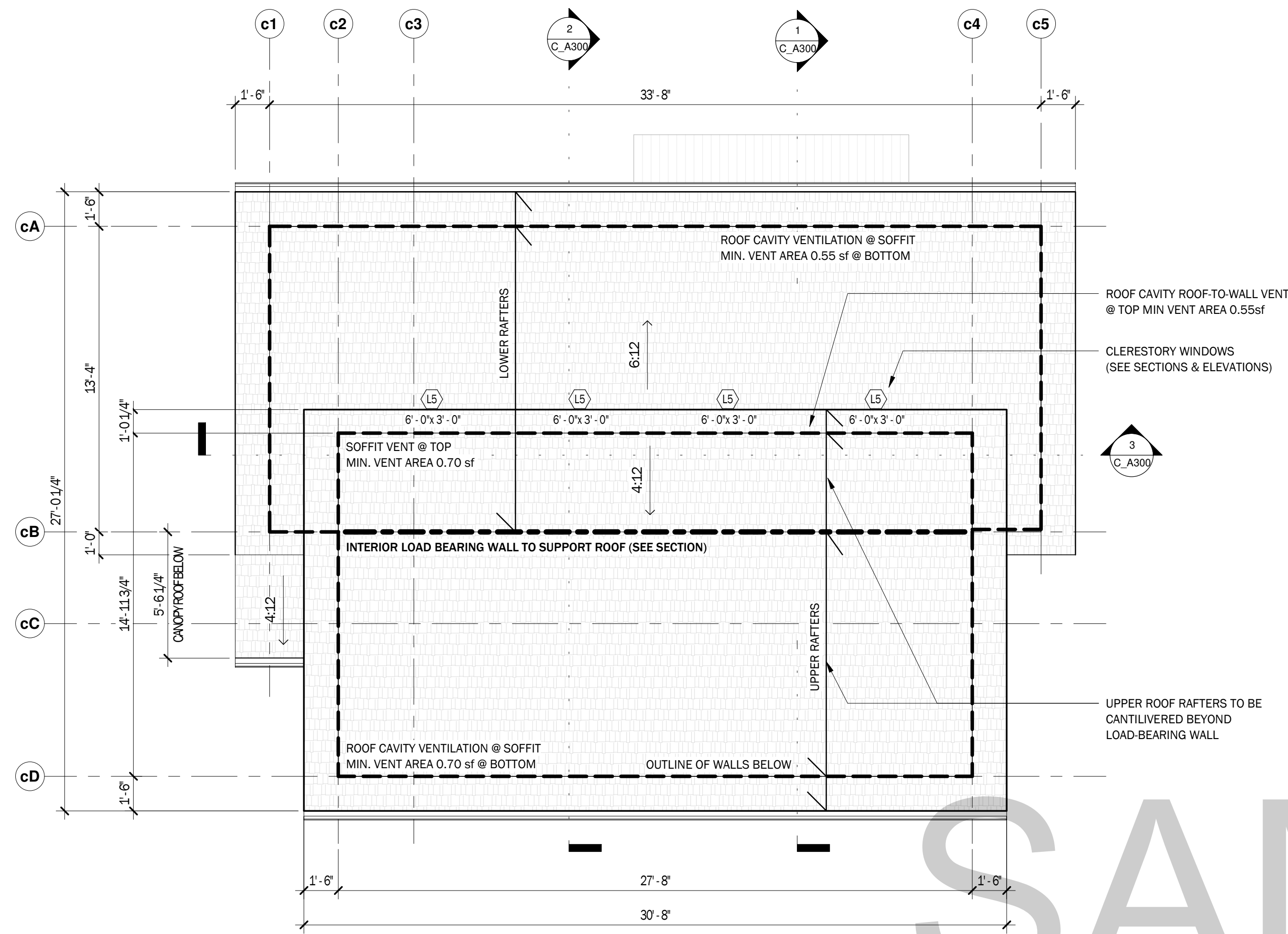
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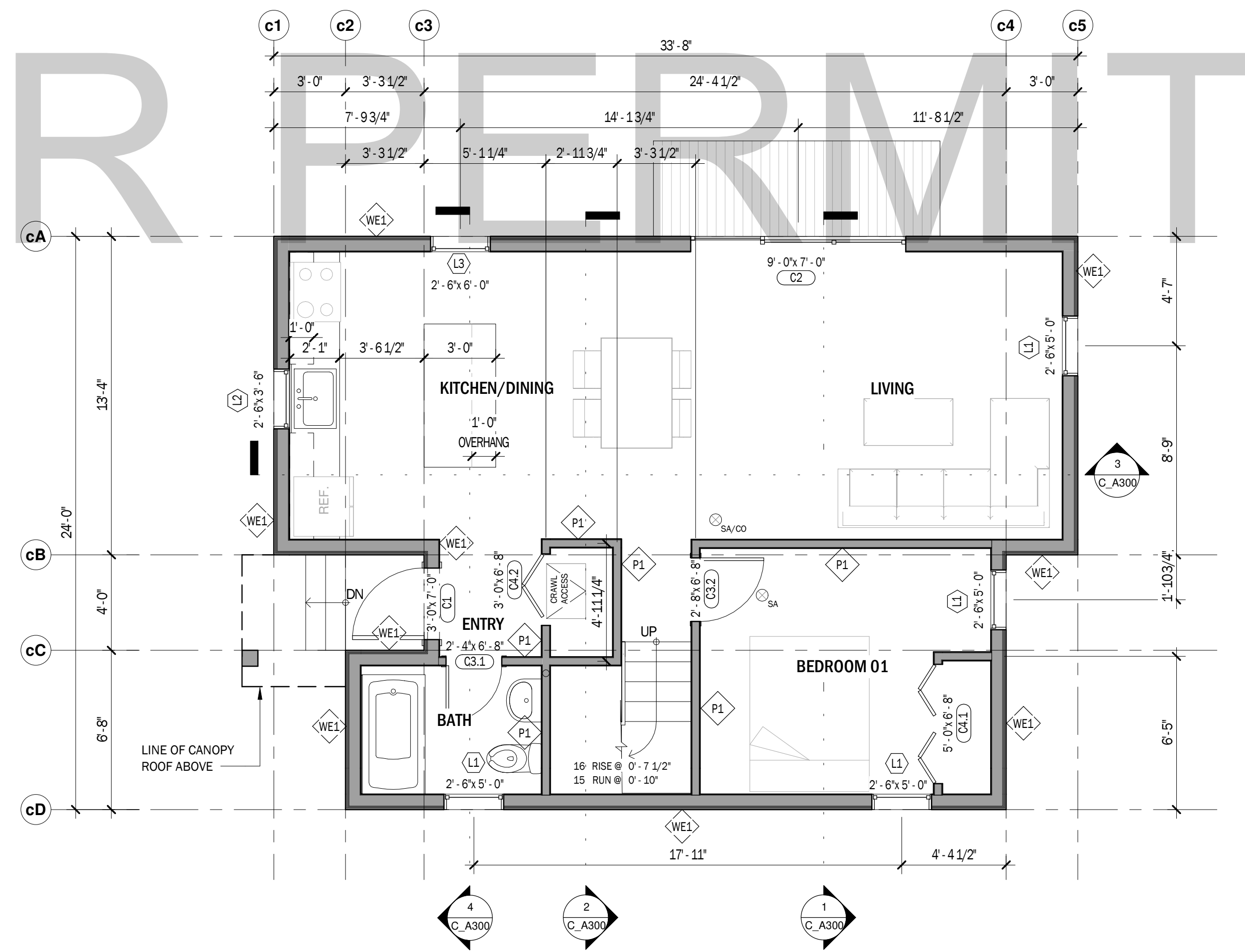
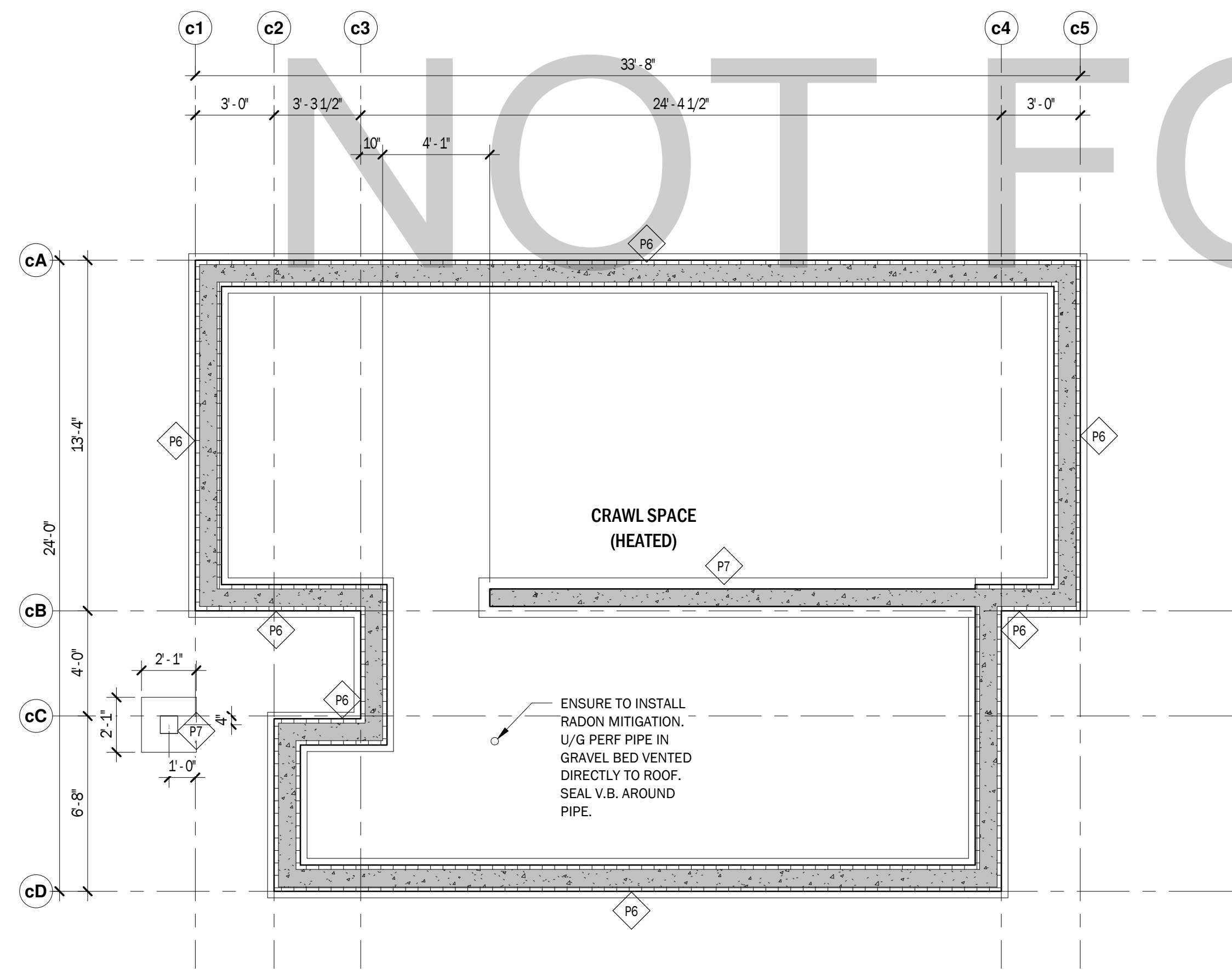
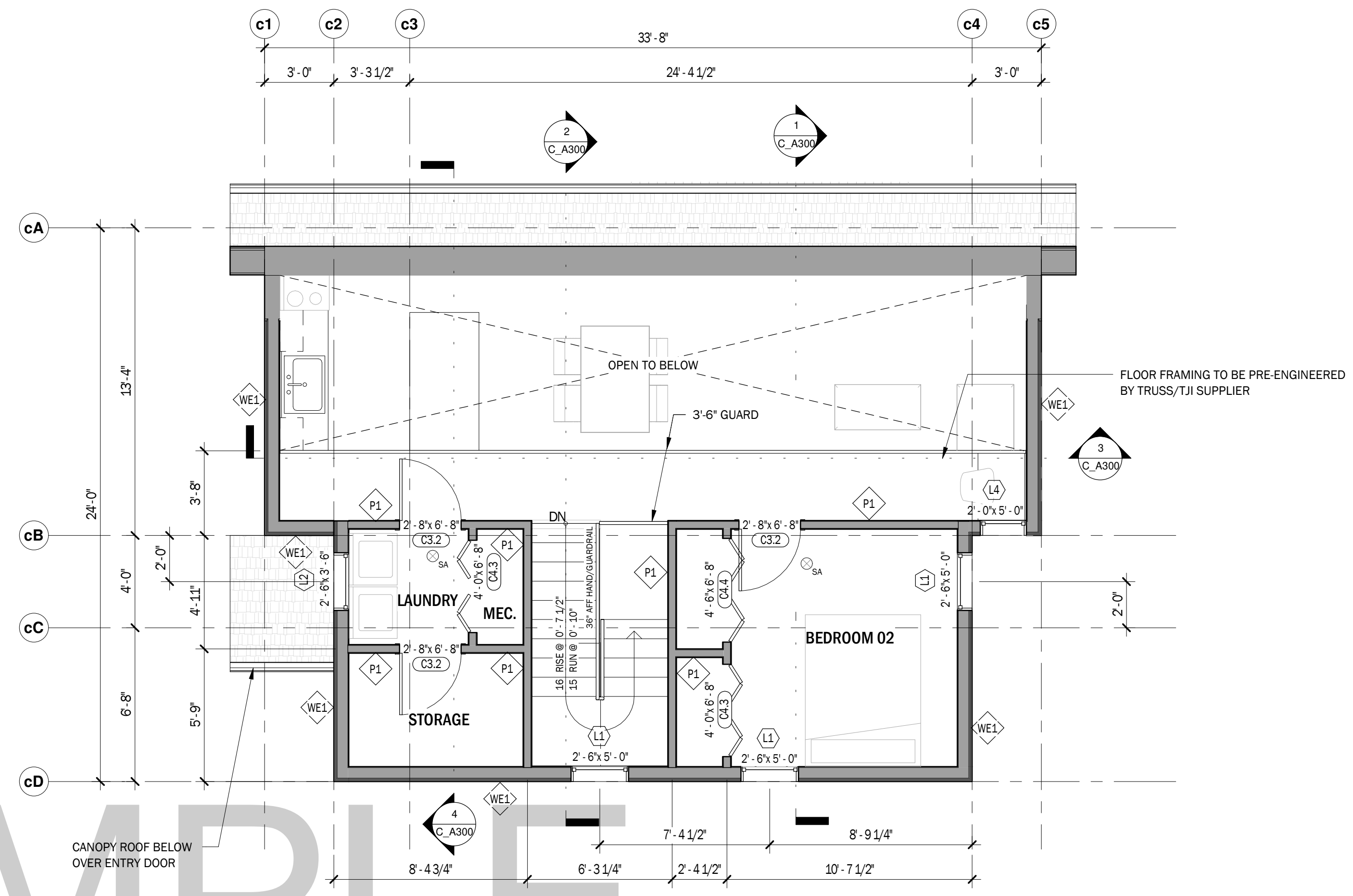
ASSEMBLIES

NOTE:
1. ALL WALLS <P1> UNO



ROOF CAVITY VENTILATION CALCULATIONS:

PORTION	TOTAL AREA	MIN. VENT AREA	PER SIDE
LOWER ROOF:	329.5 sf /300	1.10sf /2	0.55sf
UPPER ROOF:	414.4 sf /300	1.40sf /2	0.70sf



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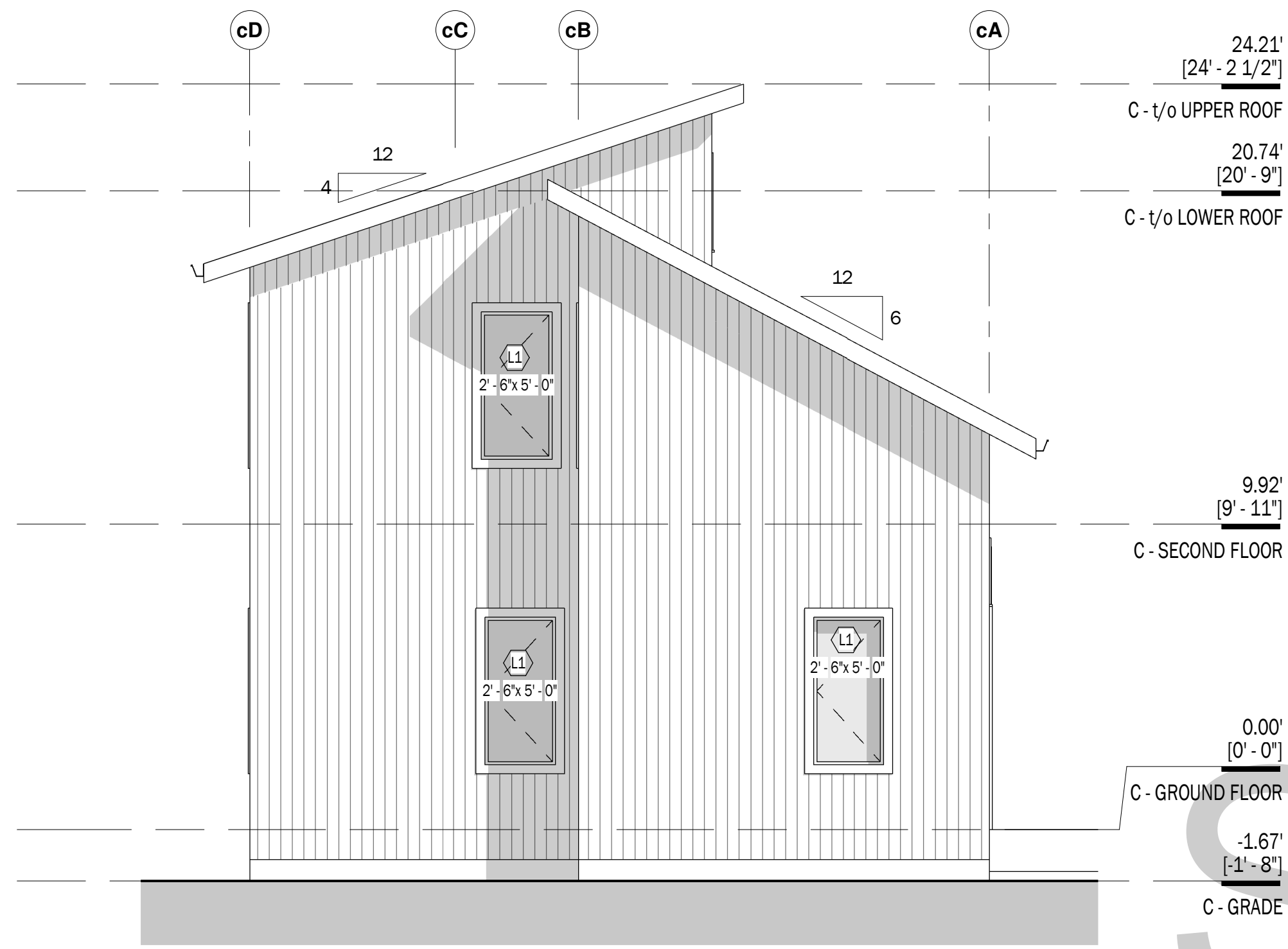
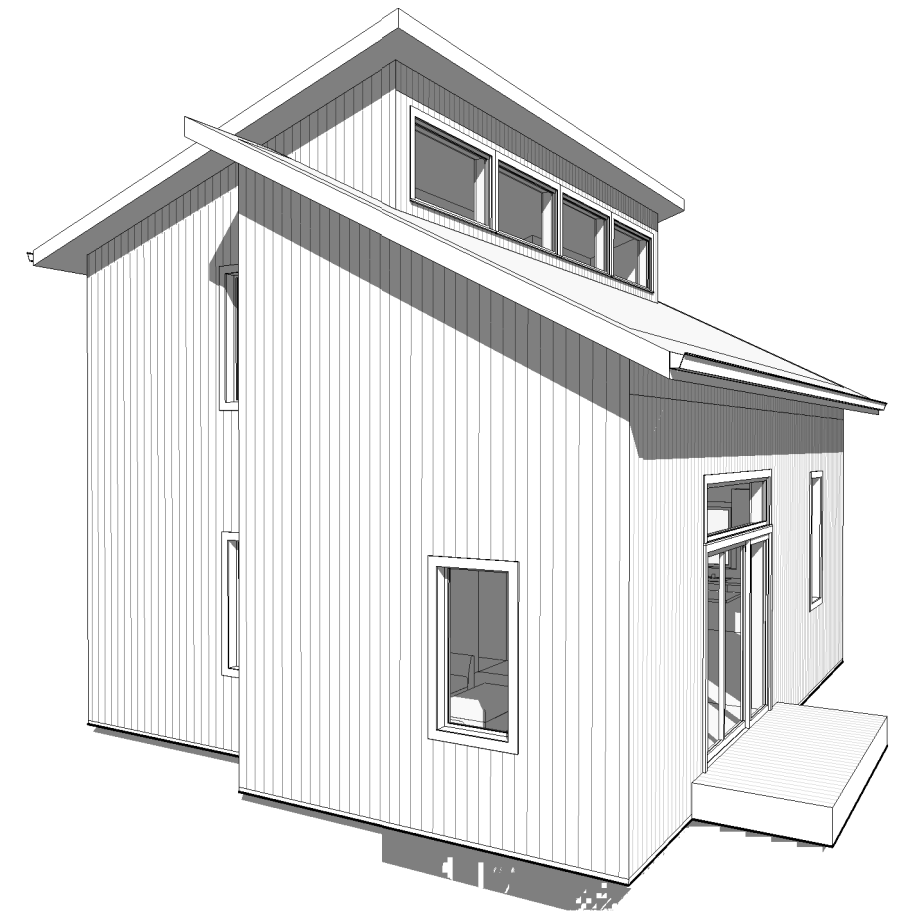
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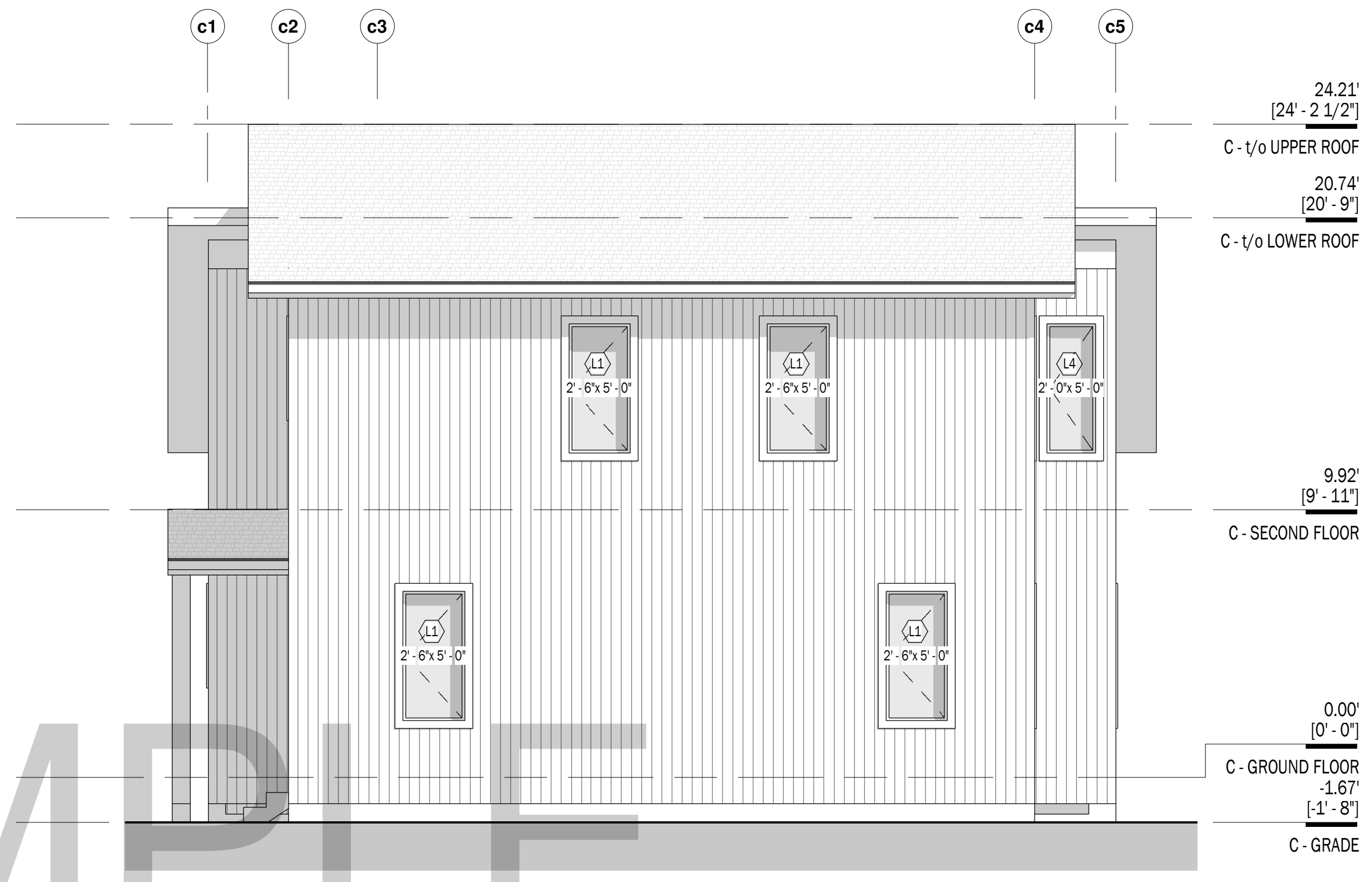
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FLOOR PLANS

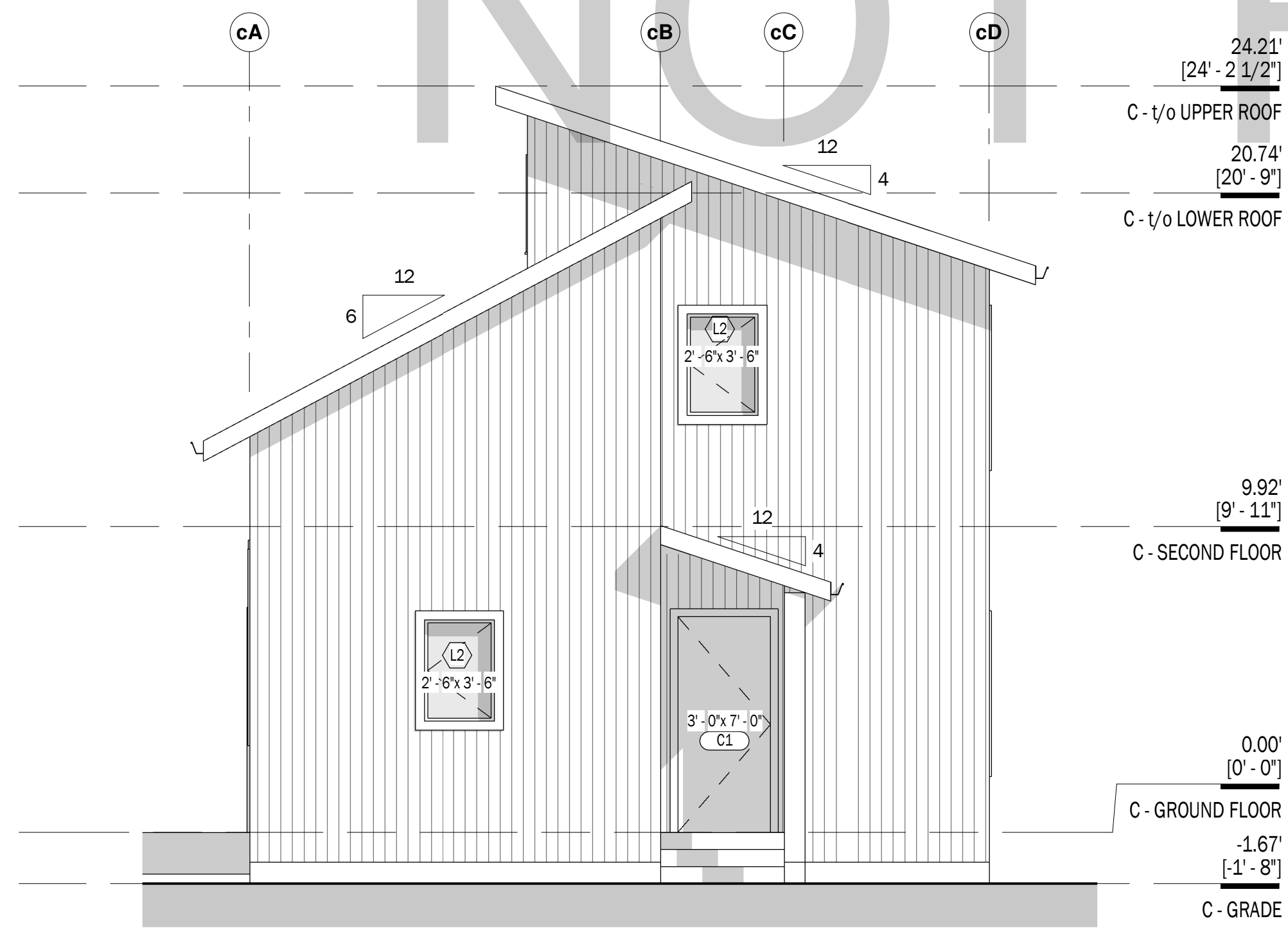
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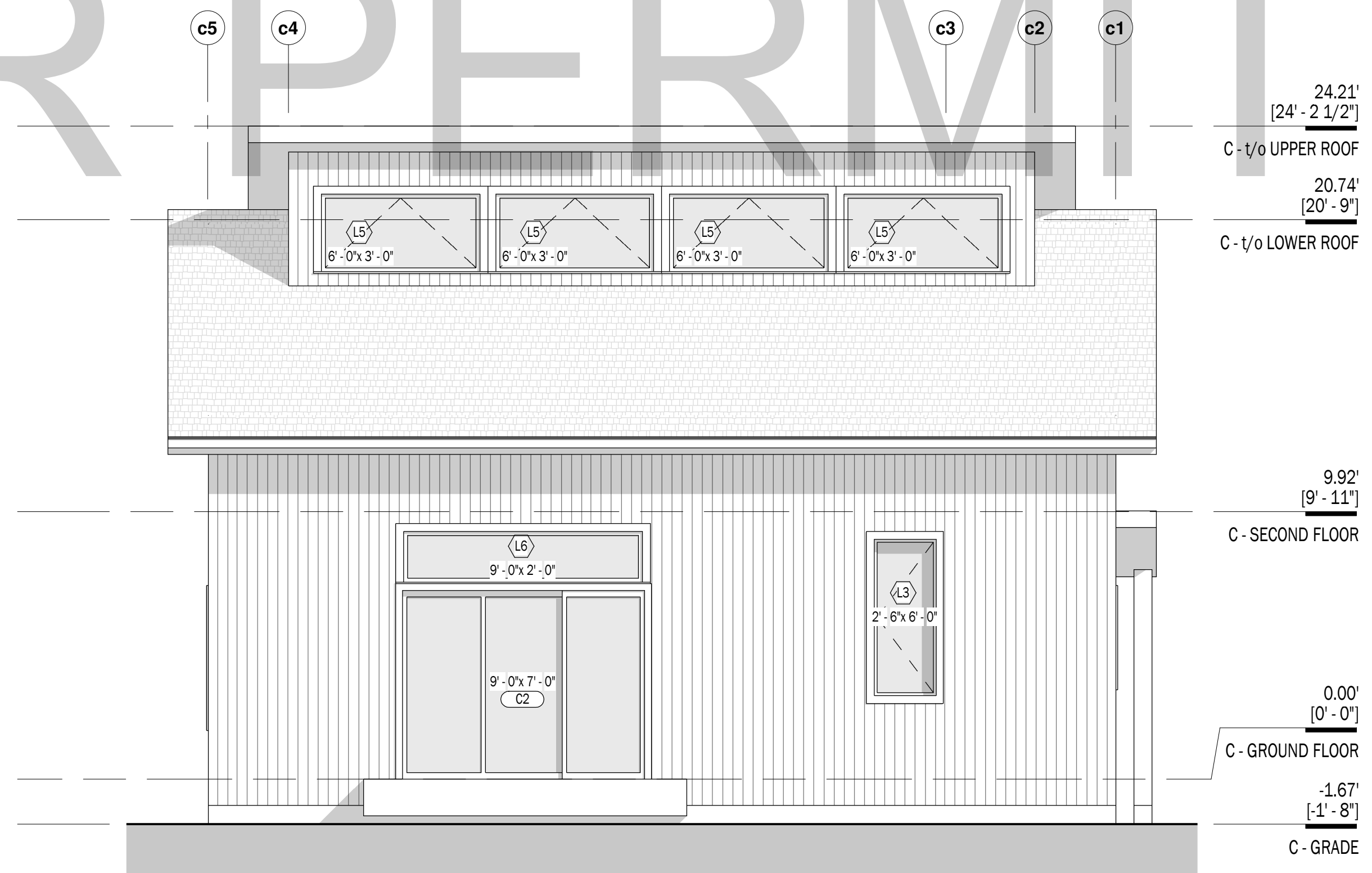
1 ELEVATION 1
1/4" = 1'-0"



2 ELEVATION 2
1/4" = 1'-0"



3 ELEVATION 3
1/4" = 1'-0"



4 ELEVATION 4
1/4" = 1'-0"

SAMPLE PERMIT

issues / revisions:

no.	issue / revision	date

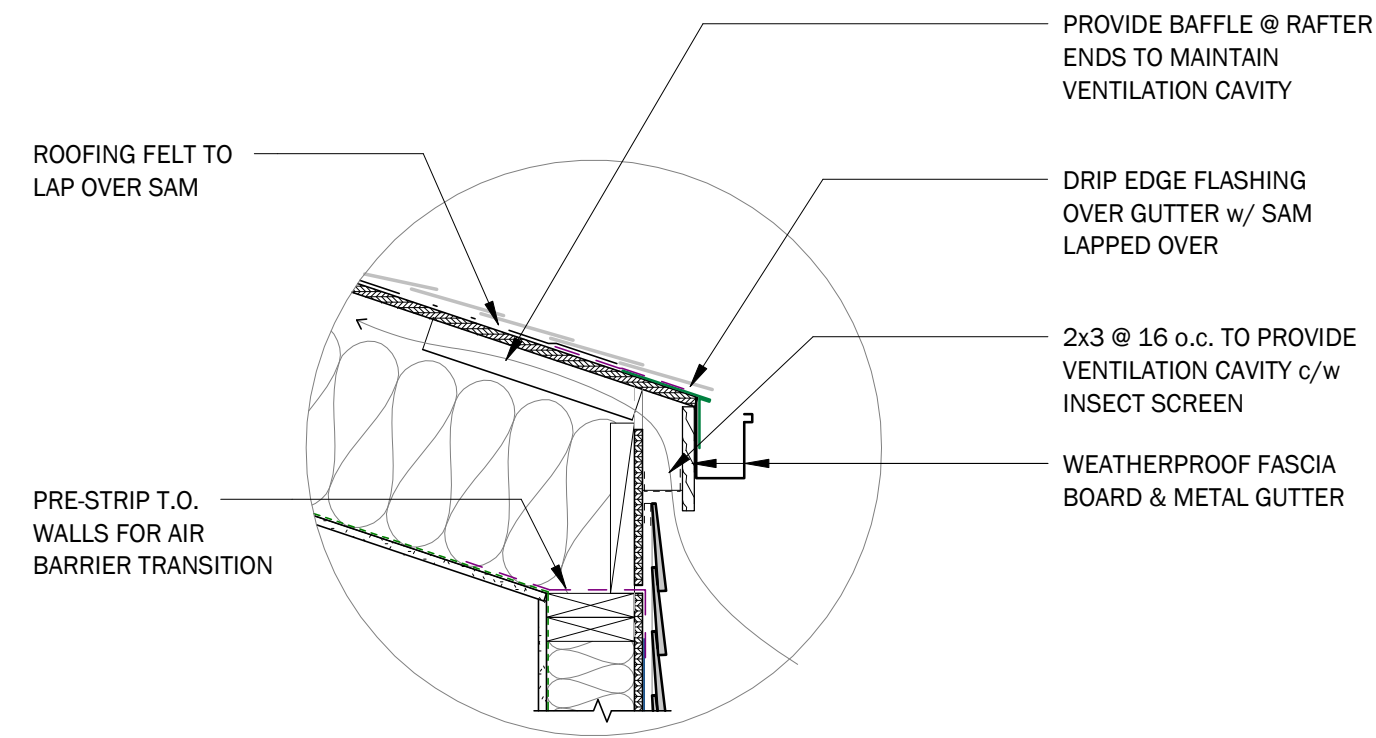
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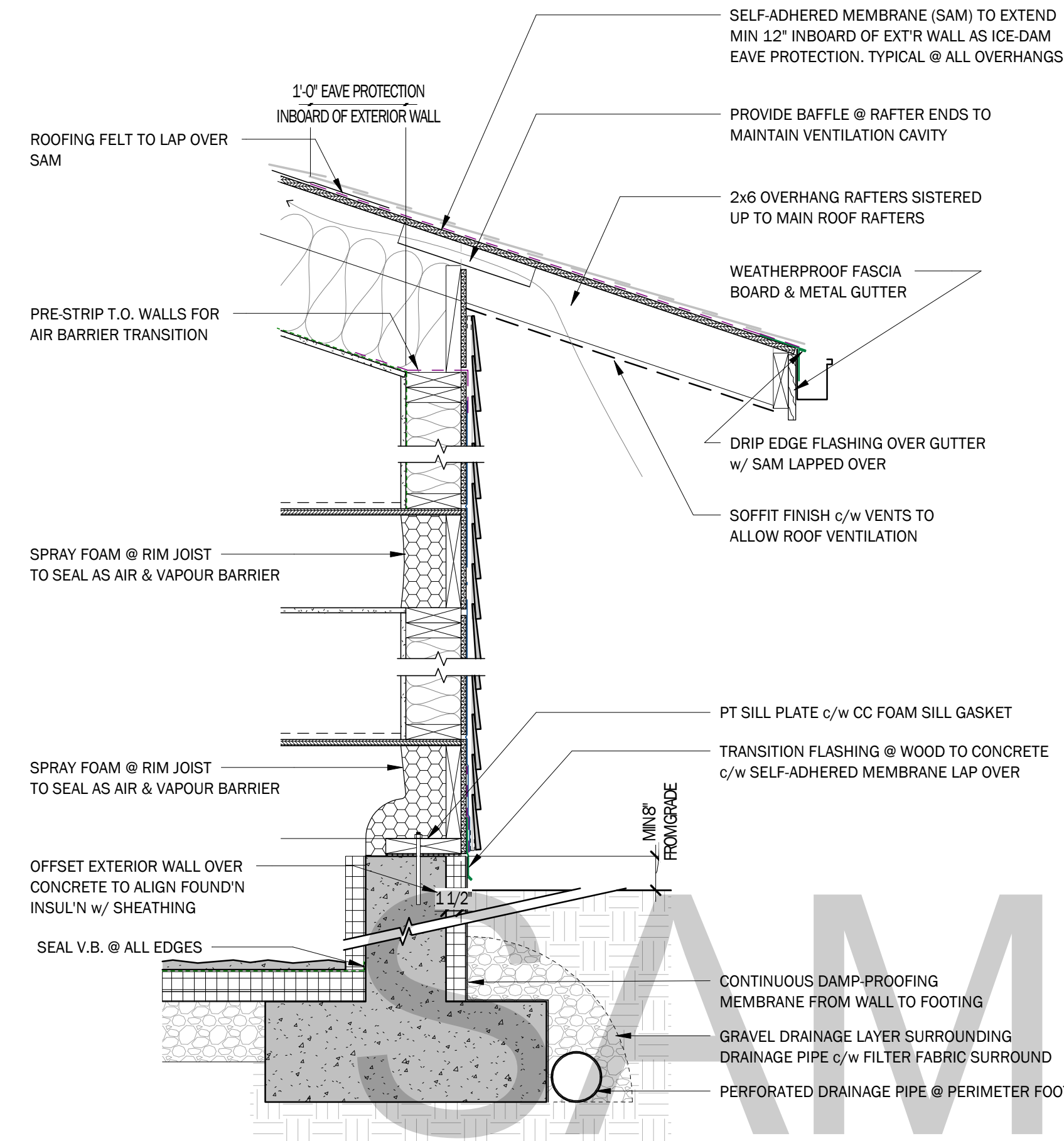
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BUILDING ELEVATIONS

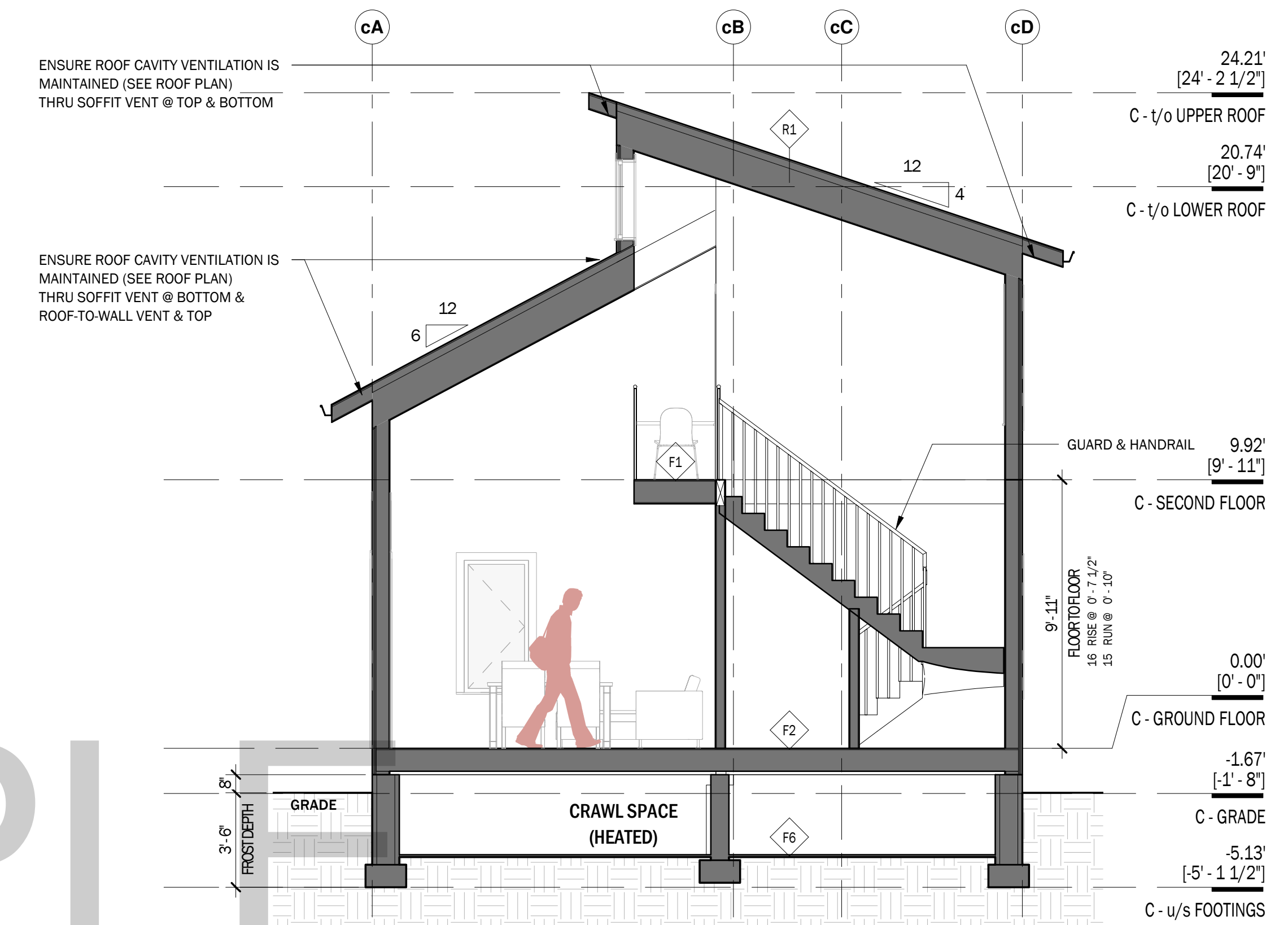
C_A200



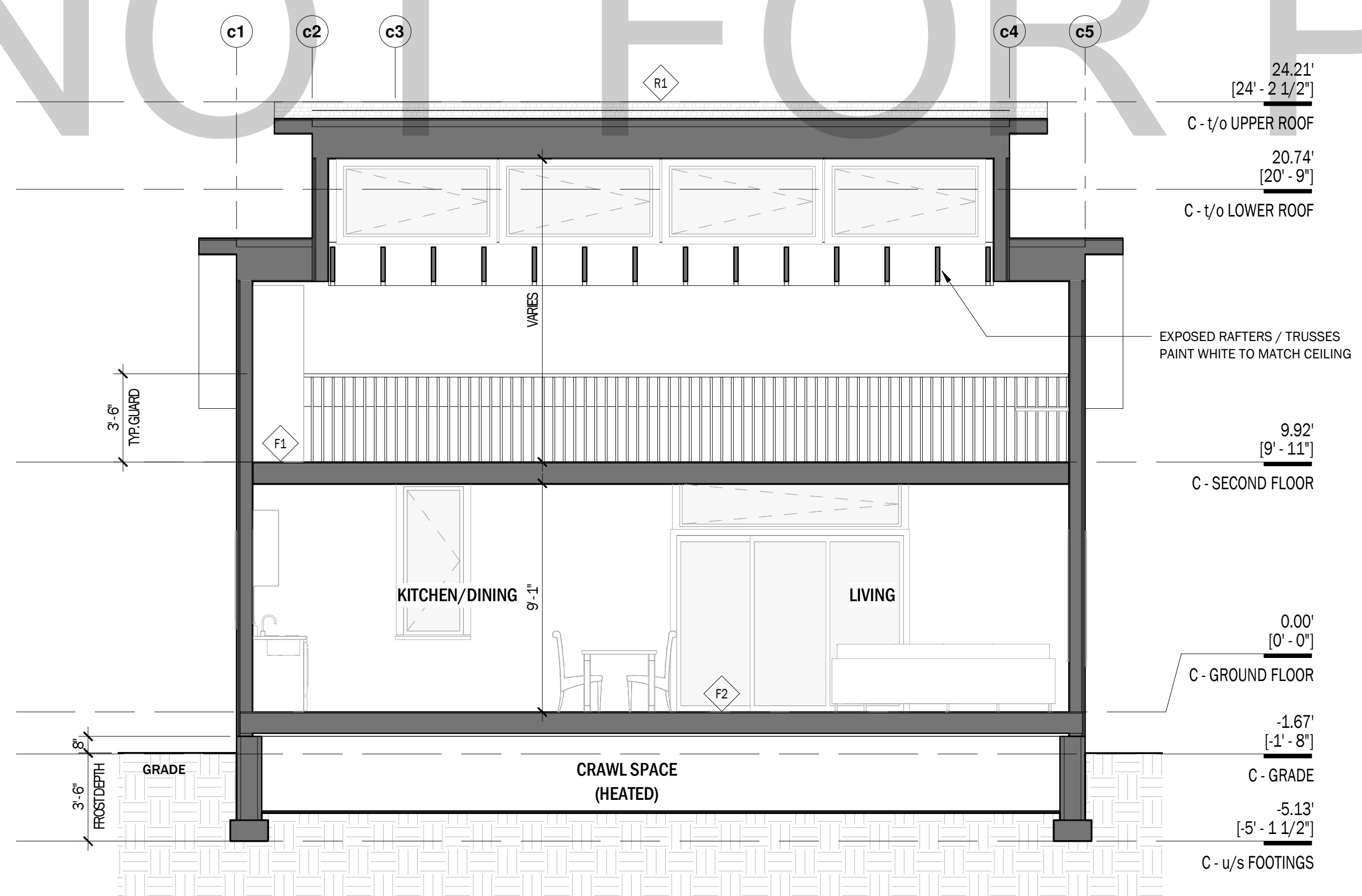
NO OVERHANG OPTION



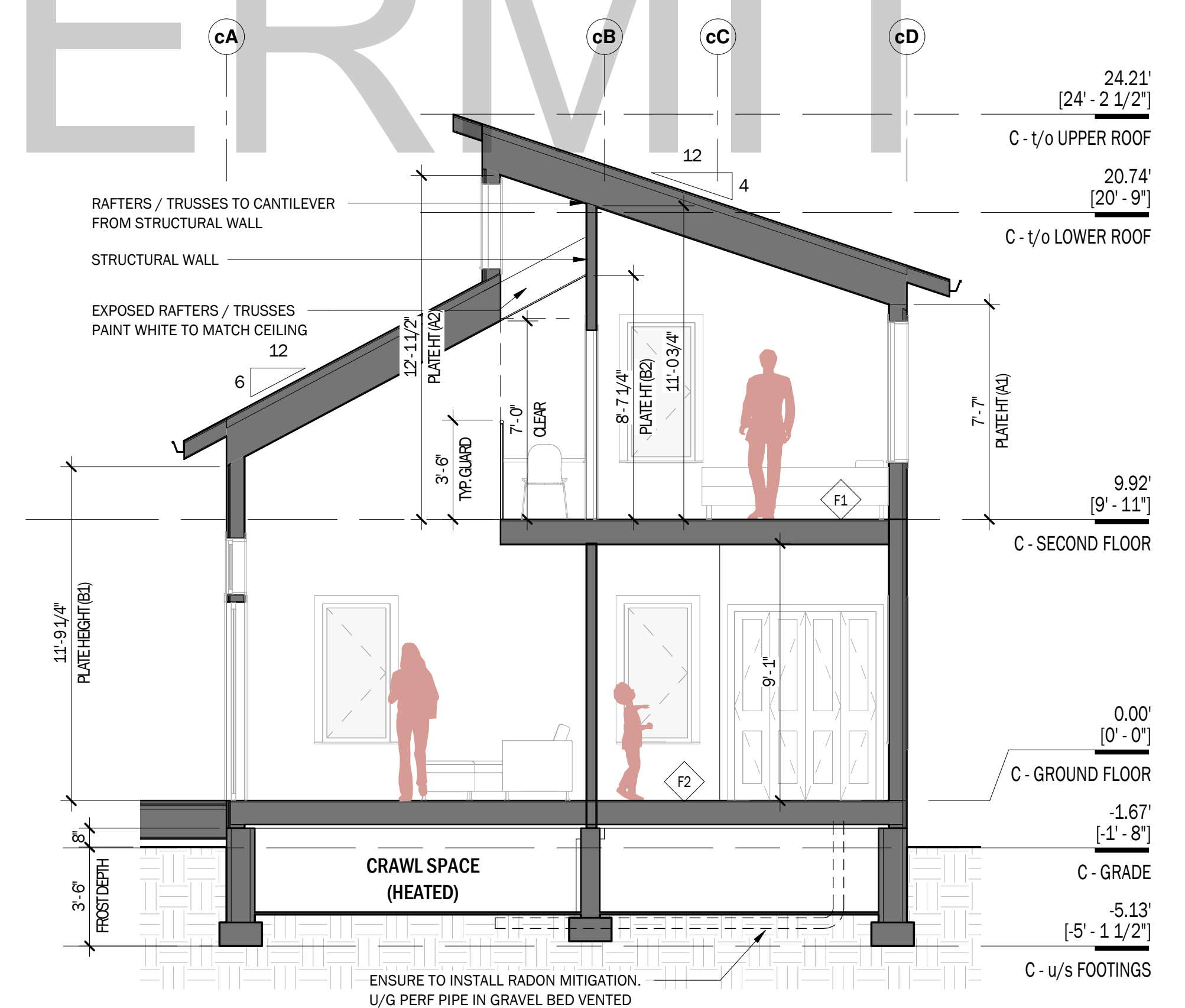
5 TYP. WALL SECTION
1" = 1'-0"



2 C - SECTION B
1/4" = 1'-0"



3 SECTION C
1/4" = 1'-0"



1 C - SECTION A
1/4" = 1'-0"

issues / revisions:

no.	issue / revision	date

Quesnel ADU
04 CHICKADEE COTTAGE
(SECONDARY DWELLING)

address: _____ project no. _____
date: _____ scale: _____
As indicated

BUILDING SECTIONS

C_A300