

Quesnel ADU - 03 Grouse Garden Flat

ISSUED FOR BP

DATE

ADDRESS



SCOPE OF WORK

1-STORY 754 sq ft SECONDARY DWELLING ACCESSORY TO PRINCIPAL HOUSE. WITH ABILITY TO OPT FOR A 2-BEDROOM OPTION (838 sq ft)
THIS DESIGN CAN BE MADE ACCESSIBLE

ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

PID:

ZONING:

SITE AREA:

DRAWING LIST

- G_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
- G_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
- G_A002 NOTES & SCHEDULES
- G_A003 ASSEMBLIES
- G_A100 FLOOR PLANS
- G_A200 BUILDING ELEVATIONS
- G_A201 BUILDING ELEVATIONS - TWO BEDROOM VERSION
- G_A300 BUILDING SECTIONS

ENERGY SUMMARY

THIS DESIGN MEETS STEP 3 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS:
(NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

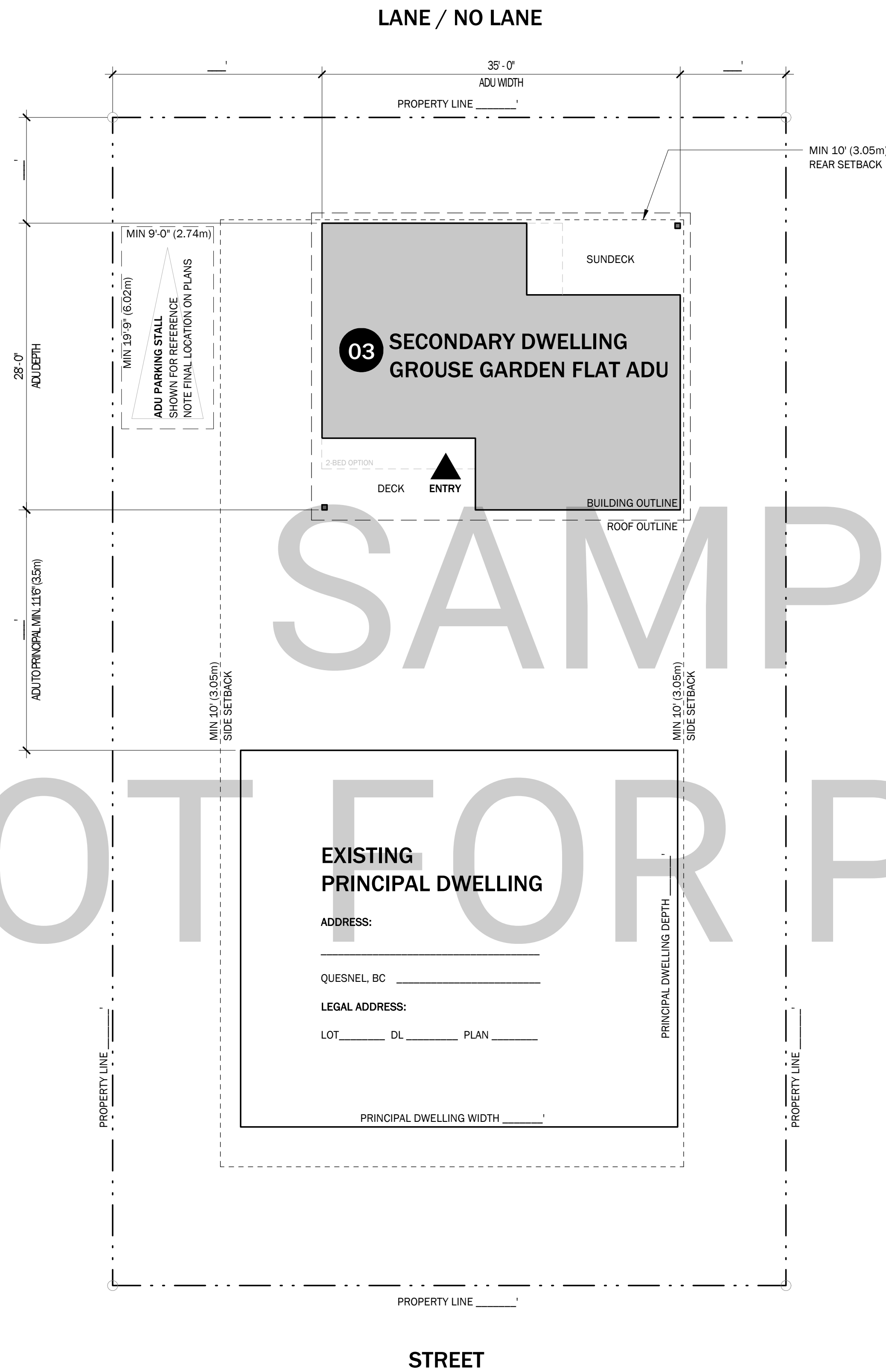
ASSEMBLIES (PER ASSEMBLIES PAGE)

WALLS: R-24 BATT INSUL. IN 2x6 @ 24" o.c.
ROOF: R-40 BATT INSUL. IN 2x12 @ 24" o.c.
EXPOSED FLOOR: R-28 BATT INSUL. IN 2x10 @ 16" o.c.
FOUNDATION WALLS: 8" CONCRETE w/ R-22 ICF BLOCK
SLAB ON GRADE: R-12 FULL SLAB
AIR LEAKAGE: 2.5 ACH

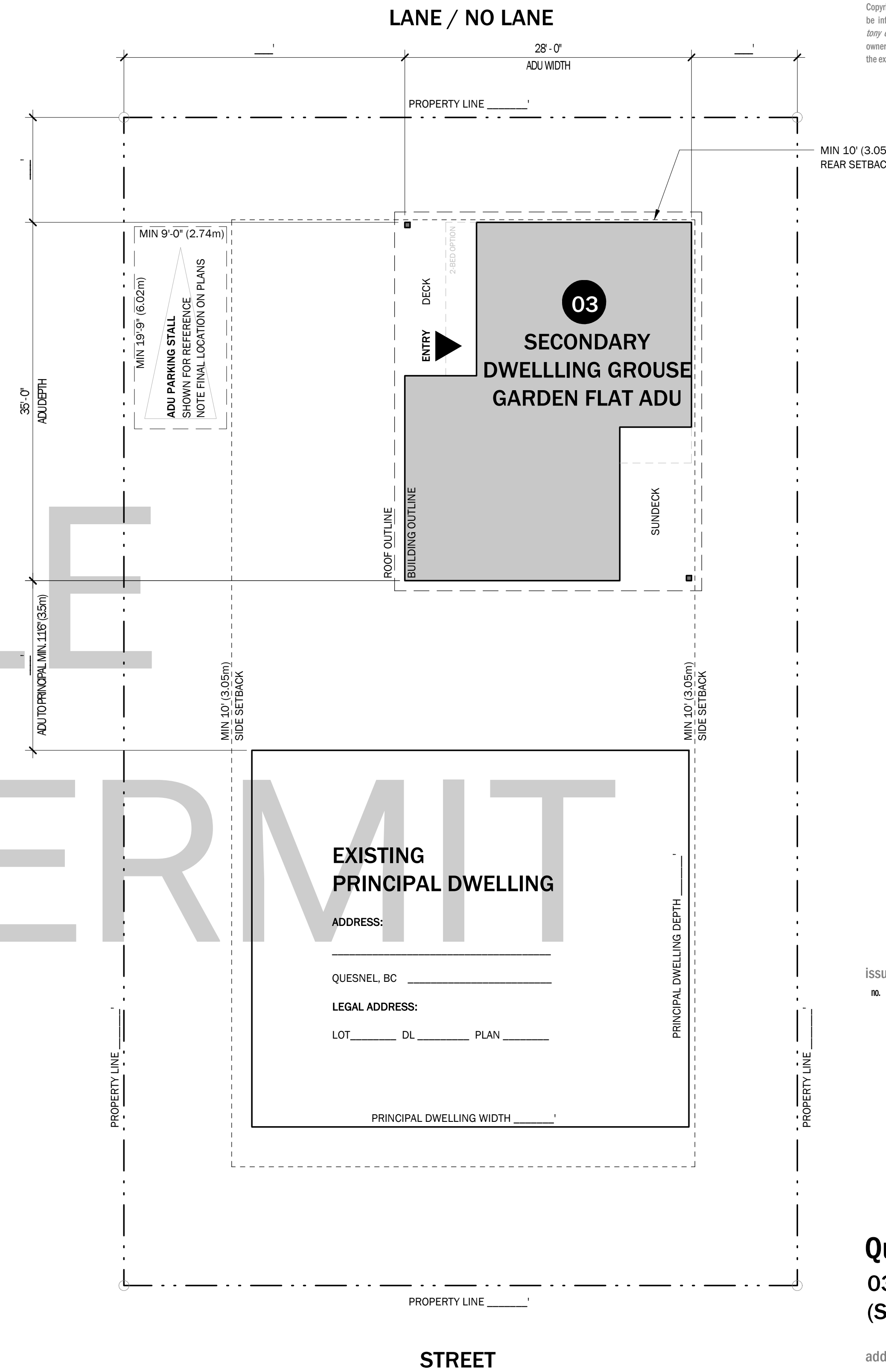
HVAC
HEATING/COOLING: HEAT PUMP WITH CONDENSING GAS BACKUP
HOT WATER: NATURAL GAS CONDENSING TANKLESS
NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT
VENTILATION: CRV 21 l/s

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)

U 1.5 SHGC 0.3
VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S



1 SITE PLAN - OPTION 1
1/8" = 1'-0"



2 SITE PLAN - OPTION 2
1/8" = 1'-0"

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

issues / revisions:
no. issue / revision date

Quesnel ADU
03 GROUSE GARDEN FLAT
(SECONDARY DWELLING)

address: _____ project no. _____

date: _____ scale: 1/8" = 1'-0"

COVER SHEET & SITE
PLAN OPTIONS 1 & 2

G_A000

Quesnel ADU - 03 Grouse Garden Flat



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- G_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
- G_A002 NOTES & SCHEDULES
- G_A003 ASSEMBLIES
- G_A100 FLOOR PLANS
- G_A200 BUILDING ELEVATIONS
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ASSEMBLIES (PER ASSEMBLIES PAGE)

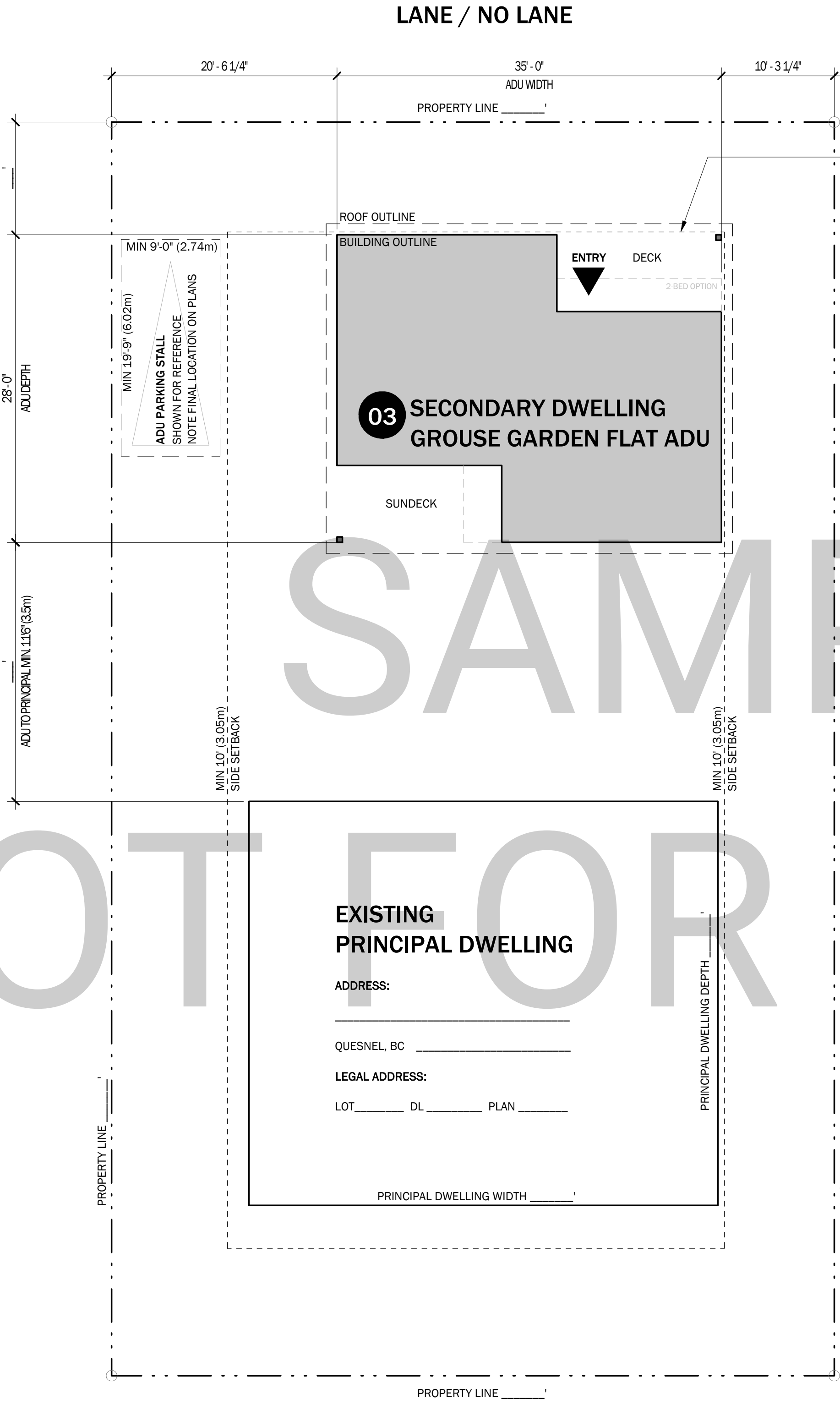
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HVAC

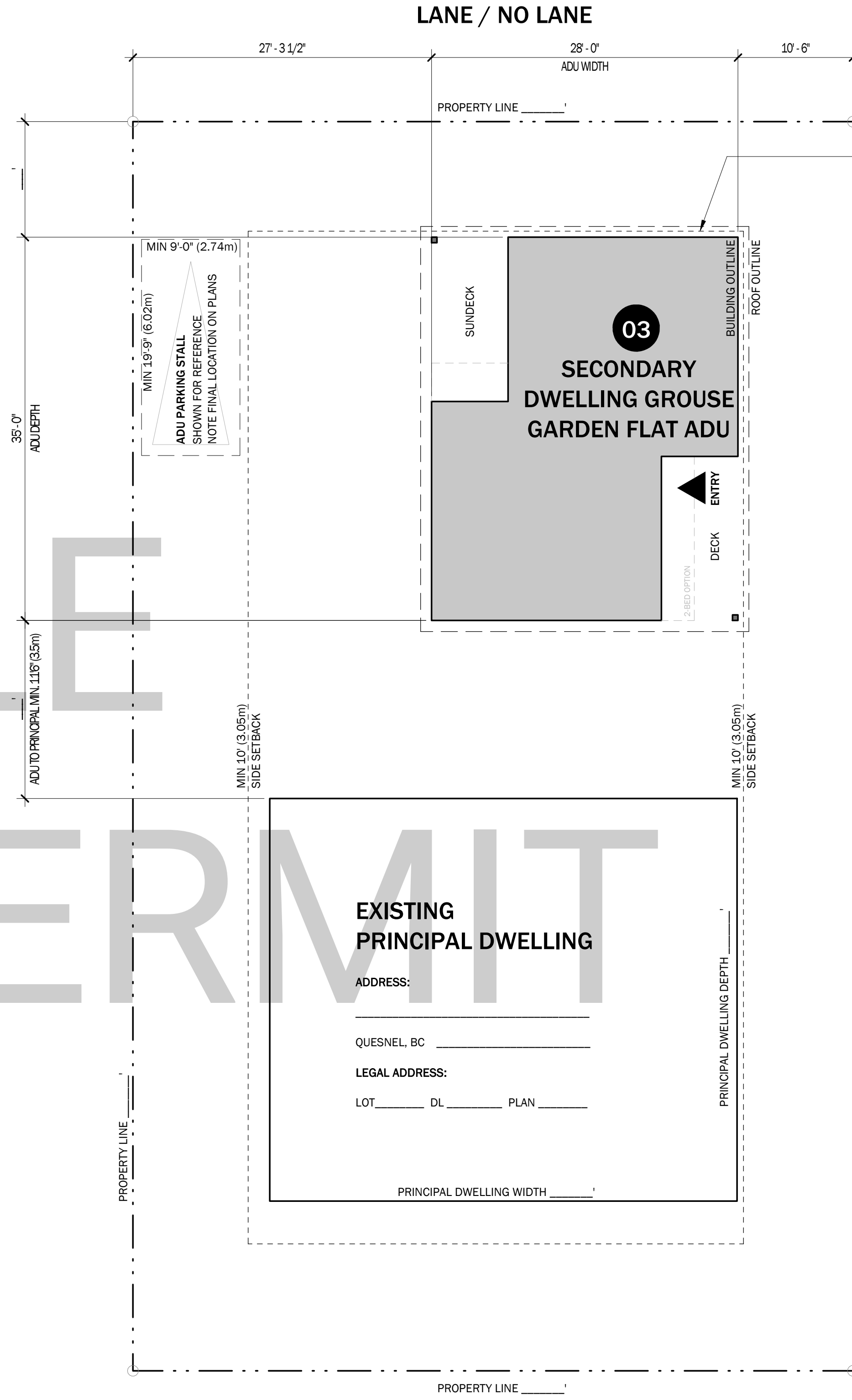
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- HOT WATER: NATURAL GAS CONDENSING TANKLESS
- VENTILATION: NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT
CRV 21 l/s

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)

- U 1.5 SHGC 0.3
- VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S



1 SITE PLAN - OPTION 3
1/8" = 1'-0"



2 SITE PLAN - OPTION 4
1/8" = 1'-0"

no.	issue / revision	date

Quesnel ADU
03 GROUSE GARDEN FLAT
(SECONDARY DWELLING)

address: _____ project no. _____

date: _____ scale: 1/8" = 1'-0"

COVER SHEET & SITE PLAN OPTIONS 3 & 4

G_A001

drawn by: ER, MK, PIP
checked by: TEO

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

ABBREVIATIONS

ADJ	ADJUSTABLE	N/A	NOT APPLICABLE
A.F.F.	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
ALUM	ALUMINUM	No.	NUMBER
AMB	AIR & MOISTURE BARRIER	NTS	NOT TO SCALE
ANN	ANNUNCIATOR PANEL		
ANOD	ANODIZED		
ARCH	ARCHITECTURAL		
B/B	BACK TO BACK	o.c.	ON CENTRE
BD	BOARD	O.D.	OVERFLOW DRAIN
BG	BUILDING GRADE	OH	OVER HEAD
BLDG	BUILDING	OPP	OPPOSITE
BLKG	BLOCKING	OPN'G	OPENING
BOT / BTM	BOTTOM	OS	OVERFLOW SCUPPER
B.O.	BOTTOM OF	OWSJ	OPEN WEB STEEL JOIST
B/S	BOTH SIDES		
CB	CATCH BASIN	PKG	PARKING
CC	CLOSED CELL	PLAM	PLASTIC LAMINATE
CG	CORNER GUARD	PL	PLATE
CJ	CONTROL JOINT	PLY	PLYWOOD
CL	CENTRE LINE	PTD	PAINTED
CLR	CLEAR	POWCO	POWDER COATED
C.O.	CONCRETE OPENING	PT	PRESSURE TREATED
COL	COLUMN	P&S	PEEL & STICK (SEE SAM)
CONC	CONCRETE		
CONT	CONTINUOUS	RB	RUBBER BASE
c/w	COMPLETE WITH	R.C.B.	RUBBER COVE BASE
		RD	ROOF DRAIN
DD	DECK DRAIN	R.O.	ROUGH OPENING
DF	DRINKING FOUNTAIN	REQ'D	REQUIRED
DIM	DIMENSION	REQ'T	REQUIREMENT
DN	DOWN	RET'N	RETENTION
DWG	DRAWING	REV	REVERSE
		RM	ROOM
E/A	EXHAUST AIR	RWL	RAIN WATER LEADER
E.G.	EXISTING GRADE		
EJ	EXPANSION JOINT	SAM	SELF ADHERED MEMBRANE (PEEL & STICK)
ELEC	ELECTRICAL	SECT	SECTION
EL / ELEV	ELEVATION	SIM.	SIMILAR
EQ.	EQUAL	SPEC	SPECIFICATION
EQUIP/EQP	EQUIPMENT	SQ	SQUARE
E/S	EACH SIDE	SS	STAINLESS STEEL
EX / EXSTG	EXISTING	STL	STEEL
EXP.	EXPANSION	STD	STANDARD
EXTR	EXTERIOR	STRUC	STRUCTURAL
FD	FLOOR DRAIN	T.O.	TOP OF
F.D.C	FIRE DEPARTMENT CONNECTION (OR CABINET)	TYP	TYPICAL
F.E.C	FIRE EXTINGUISHER CABINET	TRANS'N	TRANSITION
FF	FOIL FACED	TWS	TACTILE WARNING SURFACE
F.G.	FINISHED GRADE		
FIN.	FINISH	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR	U/S	UNDERSIDE
FR	FALL RESTRAINT		
FRM'G	FRAMING	VB	VAPOUR BARRIER / RETARDER
		VCT	VINYL COMPOSITION TILE
Ga	GAUGE	VERT.	VERTICAL
GALV	GALVANIZED	VOSAM	VAPOUR OPEN SELF-ADHERED MEMBRANE
G.I.	GALVANIZED IRON		
GL	GLAZING	w/	WITH
GSM	GALVANIZED SHEET METAL	w/o	WITHOUT
GWB	GYPSUM WALL BOARD / DRYWALL	WWM	WELDED WIRE MESH
HB	HOSE BIBB		
HORIZ	HORIZONTAL		
HR	HOUR		
HRX / HR EXT	HANDRAIL EXTENSION		
HSS	HOLLOW STEEL SECTION		
HWT	HOT WATER TANK		
I.D.	INSIDE DIAMETER (OR INTERIOR DESIGN)		
I.G.	INTERPOLATED GRADE		
INSUL.	INSULATION		
INTR	INTERIOR		
LA	LANDSCAPE ARCHITECT		
LG	LONG		
LOC	LOCATION		
LS	LANDSCAPE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MIN	MINIMUM		
M.O.	MASONRY OPENING		

SYMBOL LEGEND

	DETAIL CALLOUT
	ELEVATION MARKER
	BUILDING SECTION MARKER
	WALL SECTION MARKER
	GRID LINE
	LEVEL MARKER
	SPOT ELEVATION MARKER
	NORTH ARROW
	REVISION CLOUD
	REVISION TAG
	ROOM TAG
	STAIR TAG
	DOOR TAG
	WINDOW TAG
	ASSEMBLY TAG (WALL, FLOOR, ROOF)
	CEILING TAG
	FINISH TAG
	RAILING TAG
	SMOKE DETECTOR
	SMOKE & CO2 DETECTOR
	DRAWING TITLE

GENERAL NOTES

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED DRAWINGS.
- ALL WORK CARRIED OUT SHALL CONFORM TO BC BUILDING CODE 2018 (AND/OR APPLICABLE BYLAWS & REGULATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION).
- ALL PLANS MUST BE CHECKED AND APPROVED BY A QUALIFIED STRUCTURAL ENGINEER; AND SOIL ENGINEER IF NECESSARY.
- CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER.
- DESIGNER ASSUMES NO LIABILITY FOR ERROR, OMISSION, DEFICIENCY, DESIGN OR STRUCTURAL FLAW
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR ON SITE LOCATION OF BUILDING AND SERVICES. BUILDING SETBACKS TO BE CONFIRMED WITH SURVEYOR PRIOR TO CONSTRUCTION.
- ALL CONCRETE FORMWORK, SHORING FOR THE EXCAVATION AND UNDERPINNING OF ADJACENT STRUCTURES, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED IN ACCORDANCE WITH W.C.B. REGULATIONS.
- CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE, AND W.C.B. PAYMENT.
- OPENING SIZES FOR MANUFACTURED COMPONENTS TO BE VERIFIED WITH EACH INDIVIDUAL SUPPLIER OR MANUFACTURER.
- PROVIDE ALUM. / GALV. STEEL FLASHING OVER ALL EXTERIOR WALL OPENINGS, DOORS, WINDOWS, PARAPETS, ROOF CURES, AND AROUND ALL ROOF PENETRATIONS.
- CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH CONTINUOUS CLOSED CELL POLYETHYLENE DAMP-PROOFING STRIPS.
- PROVIDE MINIMUM 8" CLEARANCE BETWEEN FINISHED GRADE AND STUCCO, WOOD, OR ANY FINISHES.
- FACTORY BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO ULC S 610, "STANDARD FOR FACTORY BUILT FIREPLACES".
- PROVIDE CONTINUOUS MIN. 4" DIA. PERFORATED PLASTIC DRAIN PIPE WITH MIN. 6" CLEAN GRAVEL COVER TO ENTIRE PERIMETER OF BUILDINGS. CONNECT ALL ROOF, PATIO / DECK, PORCH, PARKING, AND FOUNDATION DRAINAGE TO STORM SEWER.
- PROVIDE 2 LAYERS OF BITUMINOUS DAMP-PROOFING OVER CONCRETE FOUNDATION WALLS IN CONTACT WITH GRADE, DOWN TO FOOTING.
- CEILING INSULATION SHALL NOT OBSTRUCT SOFFIT VENTILATION. STOPS OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND UNDERSIDE OF ROOF ASSEMBLY.
- FACTORY BUILT GLASS / PLASTIC SKYLIGHTS SHALL MEET PERFORMANCE REQUIREMENTS OF CGSP 63-GP-14M.
- ALL GLAZING EXTENDING LESS THAN 12" ABOVE FINISHED FLOOR SHALL BE TEMPERED.
- EXCEPT FOR SPRINKLERED BUILDINGS, PROVIDE WINDOW ACCESS TO THE EXTERIOR FOR ALL BEDROOMS CONFORMING TO BCBC SENTENCE 9.7.1.3 & 9.7.1.4.
- SMOKE ALARMS TO COMPLY WITH BCBC 9.10.19 & 9.36.2.20. INSTALL SMOKE ALARM / CARBON MONOXIDE DETECTOR CONFORMING TO ULC-S531 "STANDARD FOR SMOKE ALARMS" TO EACH STOREY.
- PROVIDE MECHANICAL VENTILATION SYSTEM AT LEAST ONE HALF AN AIR CHANGE PER HOUR.
- ALL WALLS DIMENSIONED FROM FACE OF SHEATHING, DRYWALL, OR CONCRETE.
- WHERE SHOWN, MILLWORK AND CABINETS DIMENSIONED FROM FACE OF DRYWALL.
- GRID LINES ARE TO FACE OF CONCRETE, SHEATHING, OR DRYWALL.
- EXTERIOR WALL SHEATHING TO ALIGN WITH FACE OF CONCRETE.
- FRAMING LUMBER TO BE D.FIR #2 OR BETTER.
- STRUCTURAL CONCRETE TO BE 25MPa.
- PER BCBC 2018 9.19.1.2, PROVIDE VENTING OF ROOF CAVITY VIA UNOBSTRUCTED VENT AREA NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. ROOF VENTS TO BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING.

ENERGY COMPLIANCE:

THIS PROJECT IS DESIGNED TO COMPLY & EXCEED STEP 3 OF THE BC ENERGY STEP CODE.

AREAS SUMMARY:

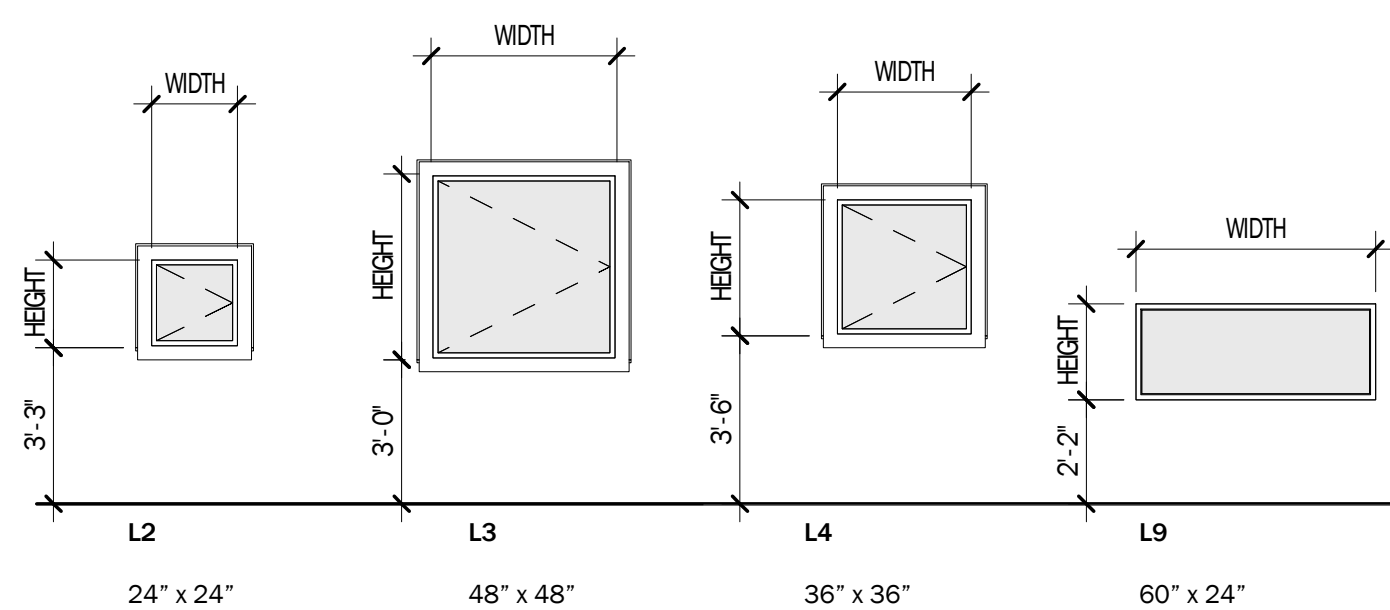
1 BED OPTION	722.1 sf	2 BED OPTION TOTAL	806.5 sf
<i>incl. STORAGE</i>	<i>24.0 sf</i>	<i>incl. STORAGE</i>	<i>24.0 sf</i>
<i>excl. EXTERIOR STORAGE</i>	<i>31.6 sf</i>	<i>excl. EXTERIOR STORAGE</i>	<i>31.6 sf</i>
TOTAL DWELLING	753.7 sf	TOTAL DWELLING	837.1 sf

O3 - GROUSE WINDOW SCHEDULE

Type Mark	Width	Height	Sill Height	Head Height	Count
L2	2'-0"	2'-0"	3'-3"	5'-3"	1
L3	4'-0"	4'-0"	3'-0"	7'-0"	1
L4	3'-0"	3'-0"	3'-0"	6'-0"	1
L9	5'-0"	2'-0"	2'-2"	4'-2"	4

REQUIRED WINDOW SPECS:

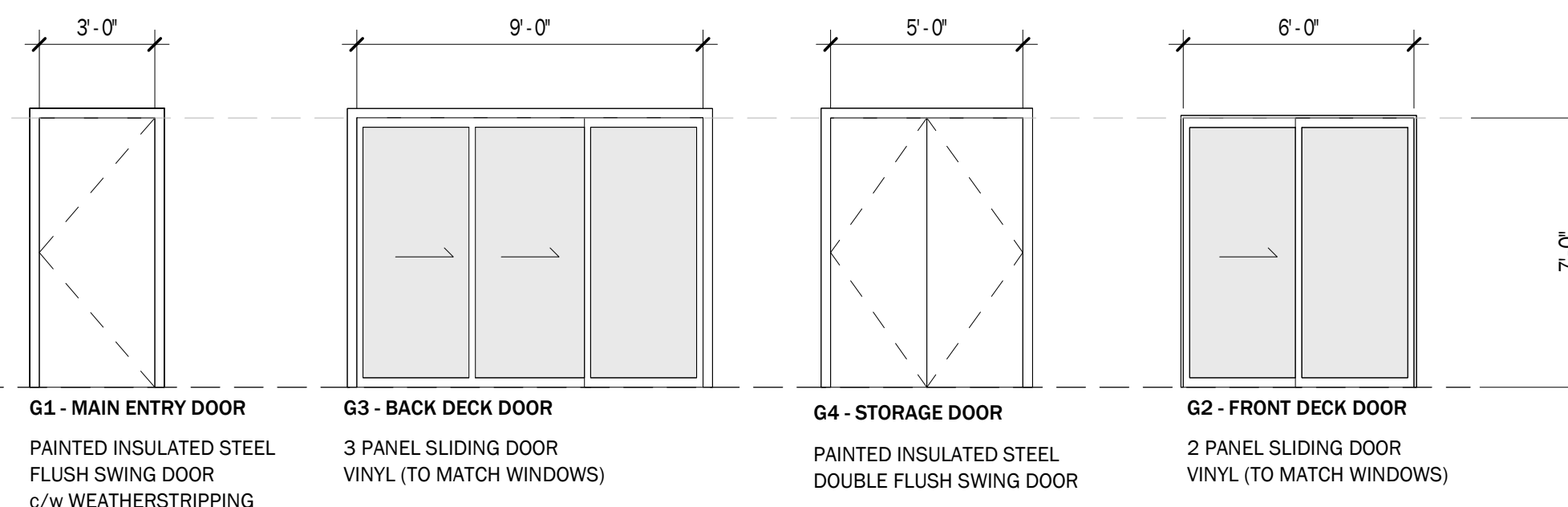
VINYL FRAMES
DOUBLE GLAZED
LOW-E ARGON FILLED
U 1.5 SHGC 0.3



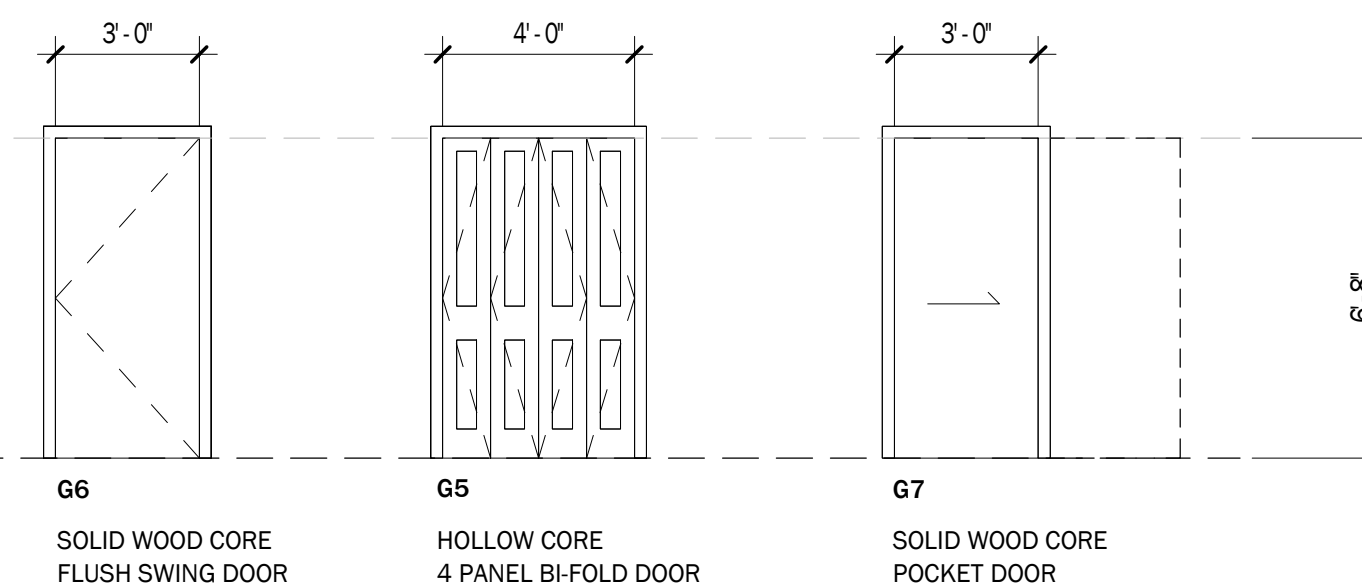
O3 - GROUSE DOOR SCHEDULE

Mark	Width	Height	Material	Finish	Frame Material	Count	Comments
G1	3'-0"	7'-0"	I, STL		W	1	
G2	6'-0"	7'-0"	V		V	1	
G3	9'-0"	7'-0"	I, STL		V	1	
G4	5'-0"	7'-0"	V		W	1	
G5	4'-0"	6'-8"	W	P	W	1	
G6	3'-0"	6'-8"	SCW	P	W	3	

EXTERIOR DOORS



INTERIOR DOORS



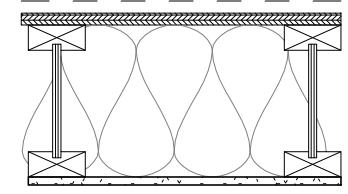
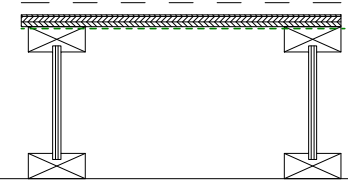
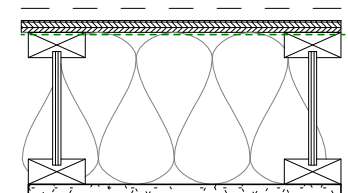
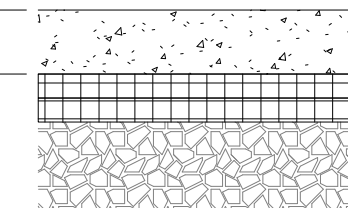
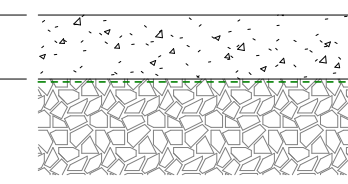
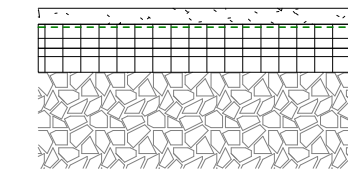
Quesnel ADU O3 GROUSE GARDEN FLAT (SECONDARY DWELLING)

address: _____ project no. _____

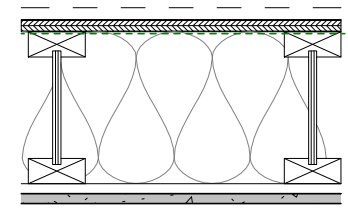
date: _____ scale: 1/4" = 1'-0"

NOTES & SCHEDULES

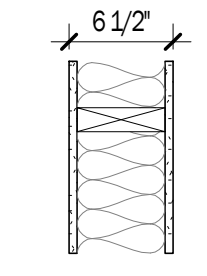
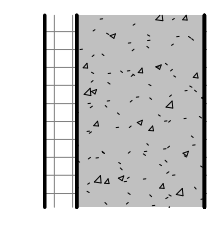
FLOOR TYPES

	FRR	STC	Remarks
F1			
			
TYPICAL FLOOR	0 h	n/a	
FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING 2x10 OR TJI WOOD JOISTS @ 16 o.c. R-6 BATT INSULATION BETWEEN JOISTS 1/2" GWB			
F2			
			
FLOOR OVER CRAWL SPACE	0 h	n/a	
FLOORING FINISH (TBD) 5/8" T & G PLYWOOD DECKING 2x10 OR TJI WOOD JOISTS @ 16 o.c.			
F3			
			
FLOOR OVER GARAGE	0 h	n/a	
FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING VAPOUR BARRIER - SEAL ALL PLYWOOD BUTT JOINTS 2x10 OR TJI WOOD JOISTS @ 16 o.c. R-28 BATT INSULATION BETWEEN JOISTS 1/2" GWB			
F4			
			
TYPICAL INSULATED SLAB ON GRADE	0 h	n/a	ENSURE TO PROVIDE RADON MITIGATION
4" C.I.P. CONCRETE ON GRADE c/w WELDED MESH REINFORCEMENT 10 MIL POLYETHYLENE VAPOUR BARRIER SEALED AT ALL EDGES 3" RIDGID EPS (R-12) INSULATION MIN 6" COMPACT GRAVEL			
F5			
			
SLAB ON GRADE	0 h	n/a	ENSURE TO PROVIDE RADON MITIGATION
4" C.I.P. CONCRETE ON GRADE c/w WELDED MESH REINFORCEMENT 10 MIL POLYETHYLENE VAPOUR BARRIER SEALED AT ALL EDGES MIN 6" COMPACT GRAVEL			
F6			
			
CONCRETE SLURRY - INSULATED @ CRAWL SPACE	-	-	ENSURE TO PROVIDE RADON MITIGATION
1" CONCRETE SLURRY 10 MIL VAPOUR BARRIER SEALED @ ALL JOINTS 3" RIDGID EPS (R-12) INSULATION 6" MIN COMPACT GRAVEL MIN. 100mm 15MPa PORTLAND CEMENT CONCRETE (SEE 9.18.6.1)			

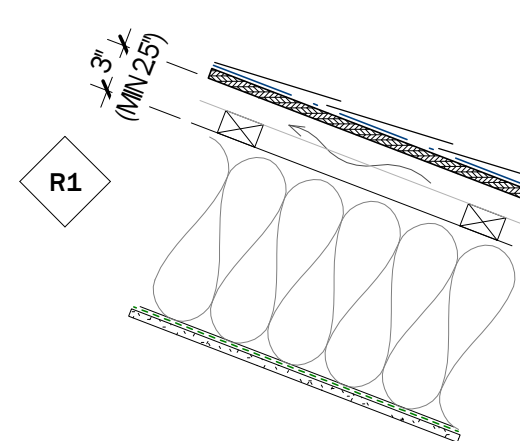
SOFFIT TYPES

	FRR	STC	Remarks
S1			
			
INSULATED SOFFIT OVER UNINSULATED SPACE	0 h	54 (IC 48)	FRR & STC REFERENCE: BCBC 2018 Table D-2.3.4-B & F, BCBC 2018 TABLE 9.10.3.1.-B, F9d
FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING (BUTT JOINTS TO BE SEALED W/ CLEAR SEALANT) VAPOUR BARRIER PRE-ENG TJI OR 2x10 WOOD JOISTS @ 24" o.c. R-28 BATT INSULATION BETWEEN JOISTS AIR & MOISTURE BARRIER 1/2" CROSS STRAPPING SOFFIT FINISH c/w VENTS			

WALL ASSEMBLIES

	FRR	STC	Remarks / Reference
WE1			
			
EXTERIOR WALL (RATED)	0 h	n/a	PRE-STRIP AIR BARRIER @ TOP PLATE OF WALL (AIR TO AIR & VAPOUR BARRIER)
CLADDING PER ELEVATIONS 1/2" x 2" PT PLYWOOD STRAPPING @ 16" o.c. INSTALLED OVER STUDS AIR & MOISTURE BARRIER (TYVEK RAINSCREEN) - TAPE ALL JOINTS (TRANSITION TO VAPOUR & AIR BARRIER @ ROOF - PRE-STRIP TOP PLATES) 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 24" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL LV RATED POLY VAPOUR BARRIER 1/2" GWB			
P1			
			
TYPICAL INTERIOR 2x4 PARTITION WALL	0 h	n/a	GWB AT INTERIOR FACE OF WASHROOMS TO BE: • PAPERLESS GWB, OR • TILE BACKER BOARD AT TILED AREAS ADD BATT INSULATION AROUND WASHROOMS
1/2" GWB 2x4 WOOD STUDS @ 16" o.c. 1/2" GWB			
P2			
			
INTERIOR 2x6 (PLUMBING) PARTITION WALL	0 h	n/a	GWB AT INTERIOR FACE OF WASHROOMS TO BE: • PAPERLESS GWB, OR • TILE BACKER BOARD AT TILED AREAS
1/2" GWB 2x6 WOOD STUDS @ 16" o.c. 1/2" GWB			
P3			
			
INTERIOR 2x6 PARTITION WALL - GARAGE SEPERATION	1 h	n/a	BCBC 2018 Appendix D Table D-2.3.4.- A & E
5/8" TYPE 'X' GWB 2x6 WOOD STUDS @ 16" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL POLYETHYLENE VAPOUR BARRIER SEAL ALL EDGES (ON SUITE SIDE) 5/8" TYPE 'X' GWB			
P5			
			
FURRING WALL	0 h	n/a	P5.0 2x2 P5.1 2x4 P5.2 2x6
1 LAYER OF 1/2" GYPSUM BOARD 2x4 WOOD FRAMING @ 16" o.c. (SEE NOTES)			
P6			
			
FOUNDATION WALL - INSULATED @ PERIMETER	0 h	n/a	MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 34" x 34" x10" (SUPPORTING 2 FLOORS) POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)
8" C.I.P. REINFORCED CONCRETE WALLS ICF 2" RIGID EPS (R-22) INSUL'N FORMS BOTH SIDES			
P7			
			
FOUNDATION WALL - UNINSULATED	0 h	n/a	MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 34" x 34" x10" (SUPPORTING 2 FLOORS) POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)
8" C.I.P. REINFORCED CONCRETE WALLS			

ROOF TYPES

	FRR	STC	Remarks
R1			
			
SLOPED ROOF - VAULTED CEILING (R40)	0 h	n/a	ROOF VENTING CAN ALSO BE ACHIEVED WITHOUT STRAPPING BY USING 14" PARALLEL CHORD TRUSSES OR TJIS AND LEAVING A 2.5" VENTILATION GAP FROM SHEATHING TO T.O. INSULATION.
STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION 1/2" EXT. GRADE PLYWOOD SHEATHING 3" (MIN 2.5") AIR GAP 2x3 ON FLAT CROSS STRAPPING ENSURE ADEQUATE VENTING @ PERIMETER & RIDGE (SEE ROOF PLAN) PRE-ENG 11 7/8" TJI OR PARALLEL CHORD TRUSS OR 2x12 ROOF RAFTERS R-40 MIN. (11.5") BATT INSULATION 6 MIL. POLY AIR & VAPOUR BARRIER 1/2" GWB			

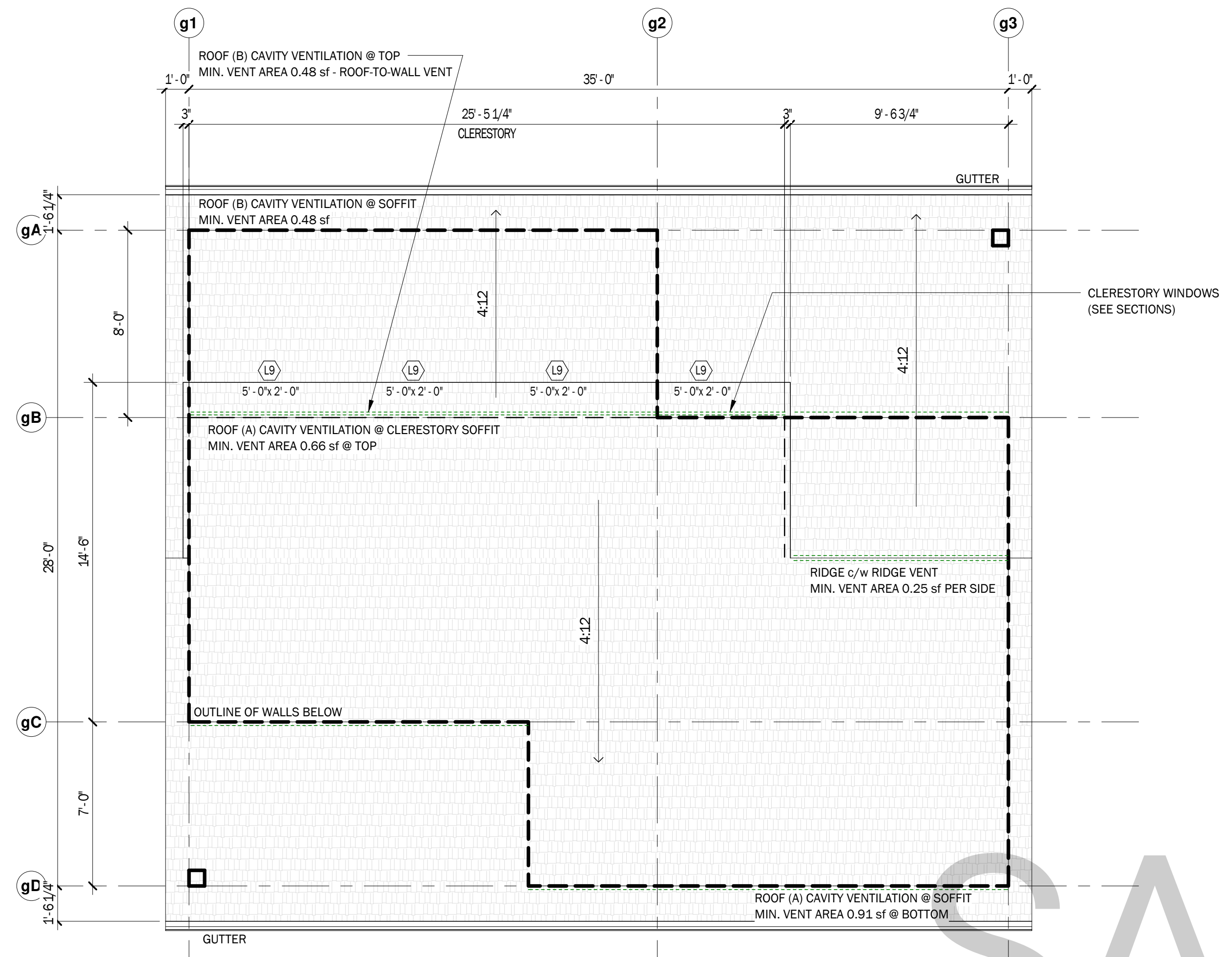
GENERAL CONSTRUCTION NOTES

- SITE CONDITIONS:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. REPORT ALL SITE DISCREPANCIES IN WRITING TO DRAWING CONSULTANT.
- DIMENSIONS:** ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONFORMANCE:** WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BC BUILDING CODE 2018 AND ALL PROVINCIAL CODES & MUNICIPAL BYLAWS.
- CONSTRUCTION SAFETY:** THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
- INSURANCES:** THE CONTRACTOR SHALL MAINTAIN AT HIS COST ALL NECESSARY INSURANCES INCLUDING THOSE ASKED FOR BY THE PROPRIETOR. THE PROPRIETOR SHALL INFORM HIS FIRE INSURANCE CO. OF WORK TO BE DONE.
- SITE PREPARATION:** INSTALL TEMPORARY DUSTPROOF PARTITIONS & ACCESS AROUND THE WORK AREA.
- DEMOLITION:** CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS. SUPPLY TEMPORARY SUPPORTS WHERE REQUIRED AS PER CODES & NORMS. REPAIR ADJACENT SURFACES.
- MATERIALS:** ONLY NEW MATERIALS SHALL BE USED. ALL MATERIALS SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- SCHEDULING:** IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE TO DRAWING CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WINDOWS AND DOORS:** ARE NOTED AS NOMINAL SIZES, ROUGH OPENINGS TO BE CONFIRMED WITH MANUFACTURER REQUIREMENTS.
- SHOP DRAWINGS:** FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS
- BACKING:** PROVIDE BACKING IN STUD SPACE TO MECHANICALLY FASTEN GRAB BARS, HANDRAILS, GUARDRAILS, WALL-MOUNT ACCESSORIES, SHELVING & DISPLAY SYSTEMS TO SEISMIC AND STRUCTURAL REQUIREMENTS.
- ELECTRICAL SERVICE:** ELECTRICAL INFORMATION ON DRAWINGS IS FOR LAYOUT PURPOSES ONLY. ELECTRICAL CONTRACTOR TO ASSESS EXISTING SERVICE AND CONDITION. PROVIDE MODIFICATIONS AND UPGRADES TO SERVICE TO ACCOMMODATE PROPOSED DESIGN AS REQUIRED.
- ELECTRICAL PERMITS:** PROVIDE ELECTRICAL PERMIT FOR ELECTRICAL WORK INDICATED ON DRAWINGS. SUBMIT PERMIT & INSPECTION REPORTS TO ARCHITECT (AND CONSULTANT IF APPLICABLE).
- ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS,** ETC. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS & RECESSED CABINETS OR FIXTURES.
- FIRE SEPARATIONS:** THE DEMISING WALLS ARE TO REMAIN AS EXISTING. IT IS THE OWNER'S RESPONSIBILITY THAT THE FIRE RATING OF THE DEMISING WALLS ARE THE MINIMUM RATING AS REQUIRED BY THE CURRENT BUILDING CODE AND ALL CURRENT PROVINCIAL & MUNICIPAL BYLAWS & CODES.
- FIRE RATING:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND MAINTAIN THE FIRE RATING OF THE STRUCTURAL ELEMENTS REQUIRED BY ALL CURRENT PROVINCIAL CODES & MUNICIPAL BYLAWS.

INTERIOR WALL GENERAL NOTES

- ALL INTERIOR PARTITIONS ADJACENT TO WATER CLOSETS TO HAVE BATT INSULATION FULL HEIGHT FOR SOUND ATTENUATION.
- LEVEL 4 FINISH ON ALL INTERIOR GWB SURFACES (LEVEL 4 - JOINT COMPOUND ON JOINTS AND SCREW HEADS ONLY, SANDED SMOOTH)
- APPLY MILDEW RESISTANT SEALANT AROUND ALL WET AREAS INCLUDING BUT NOT LIMITED TO THE KITCHEN, BATH AND LAUNDRY TO FORM WATERTIGHT SEALS AROUND ALL FIXTURES, VANITIES, COUNTERTOPS, FALCETS, DRAINS, ETC.
- ALL ACCESSIBLE AND ADAPTABLE UNITS TO HAVE 1/2" PLYWOOD LET INTO STUDS FROM 24" AFF TO 5'-0" AFF FOR GRAB BAR AND ACCESSORY MOUNTING IN WASHROOM

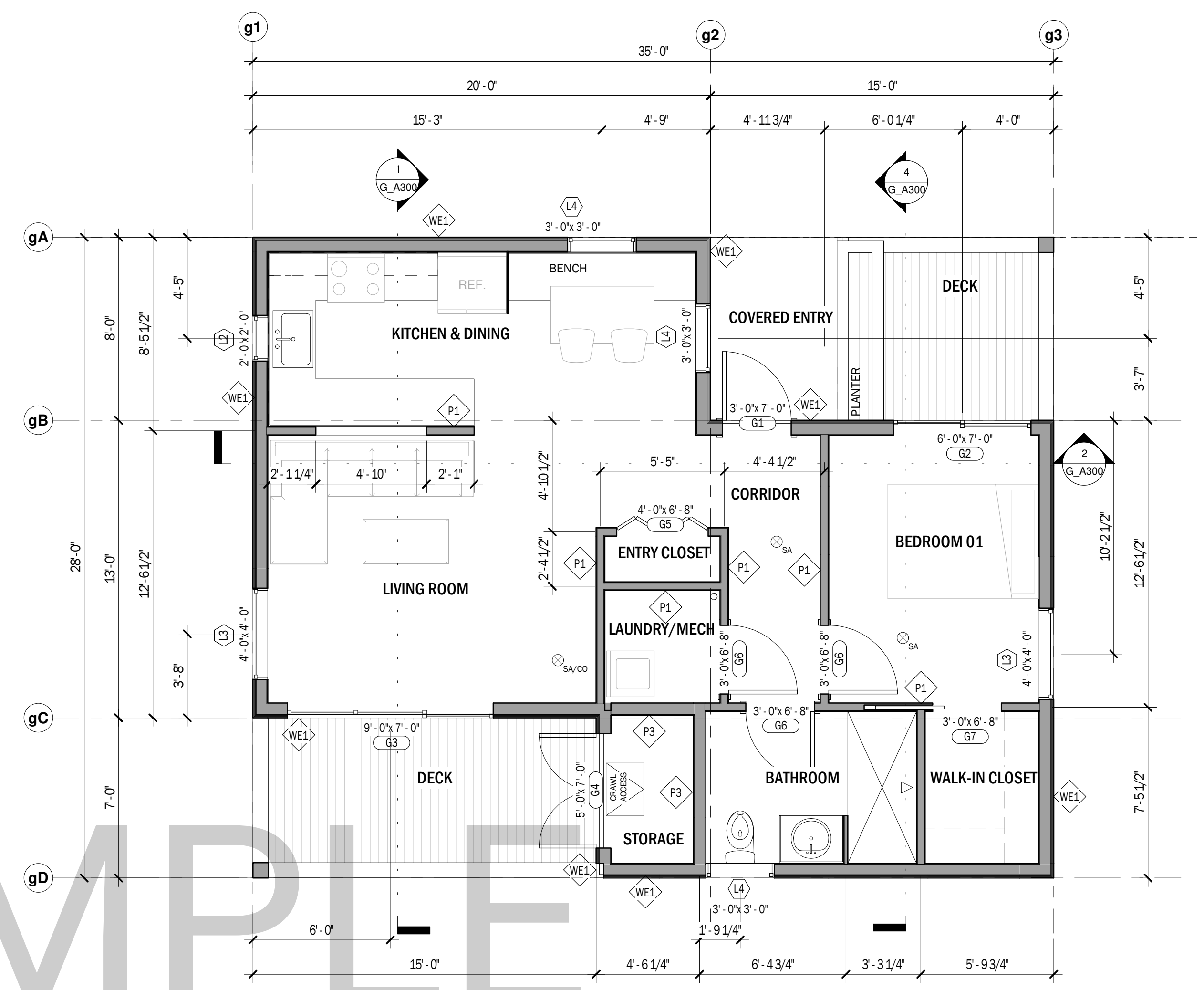
NOTE:
1. ALL WALLS <P1> UNO



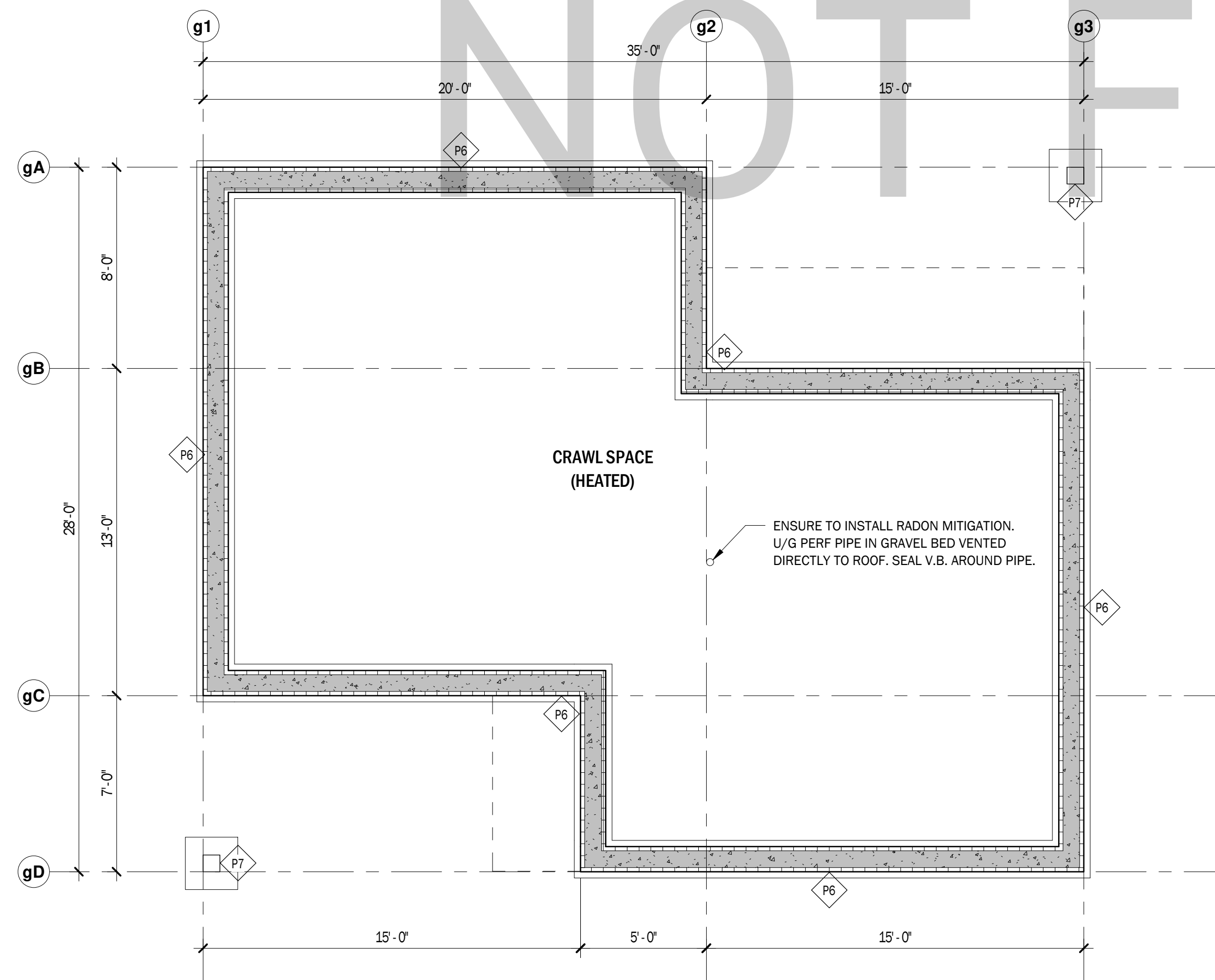
2 ROOF PLAN
1/4" = 1'-0"

ROOF CAVITY VENTILATION CALCULATIONS:

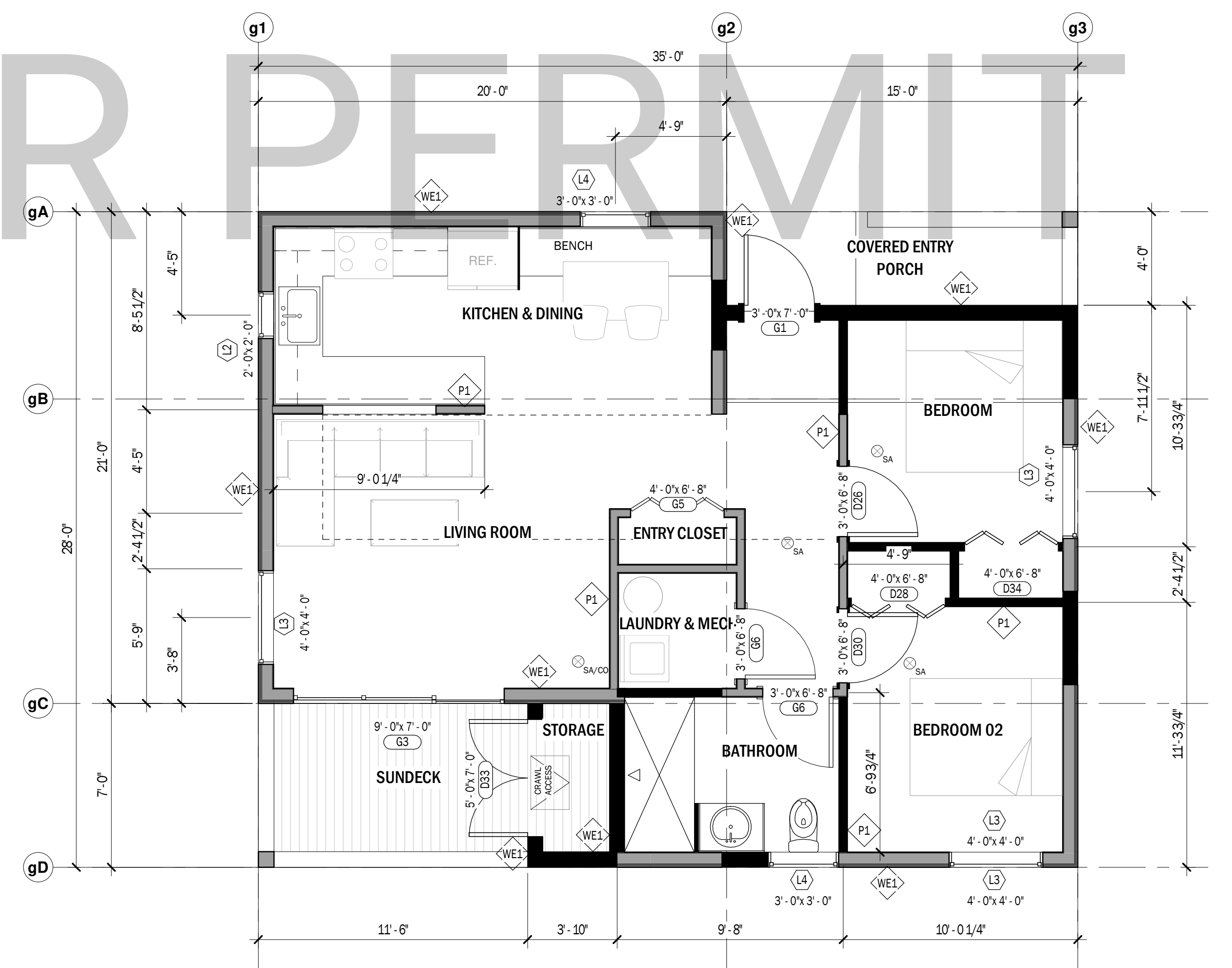
PORTION	TOTAL AREA	MIN. VENT AREA	PER SIDE
ROOF A:	541.5 sf	1.81sf / 2	0.91sf
w/ CLERESTORY	288.3 sf	0.96sf / 2	0.48sf



1 GROUND FLOOR PLAN
1/4" = 1'-0"



4 FOUNDATION PLAN
1/4" = 1'-0"



3 G - GROUND FLOOR PLAN TWO BEDROOM VERSION
1/4" = 1'-0"

issues / revisions:
no. issue / revision date

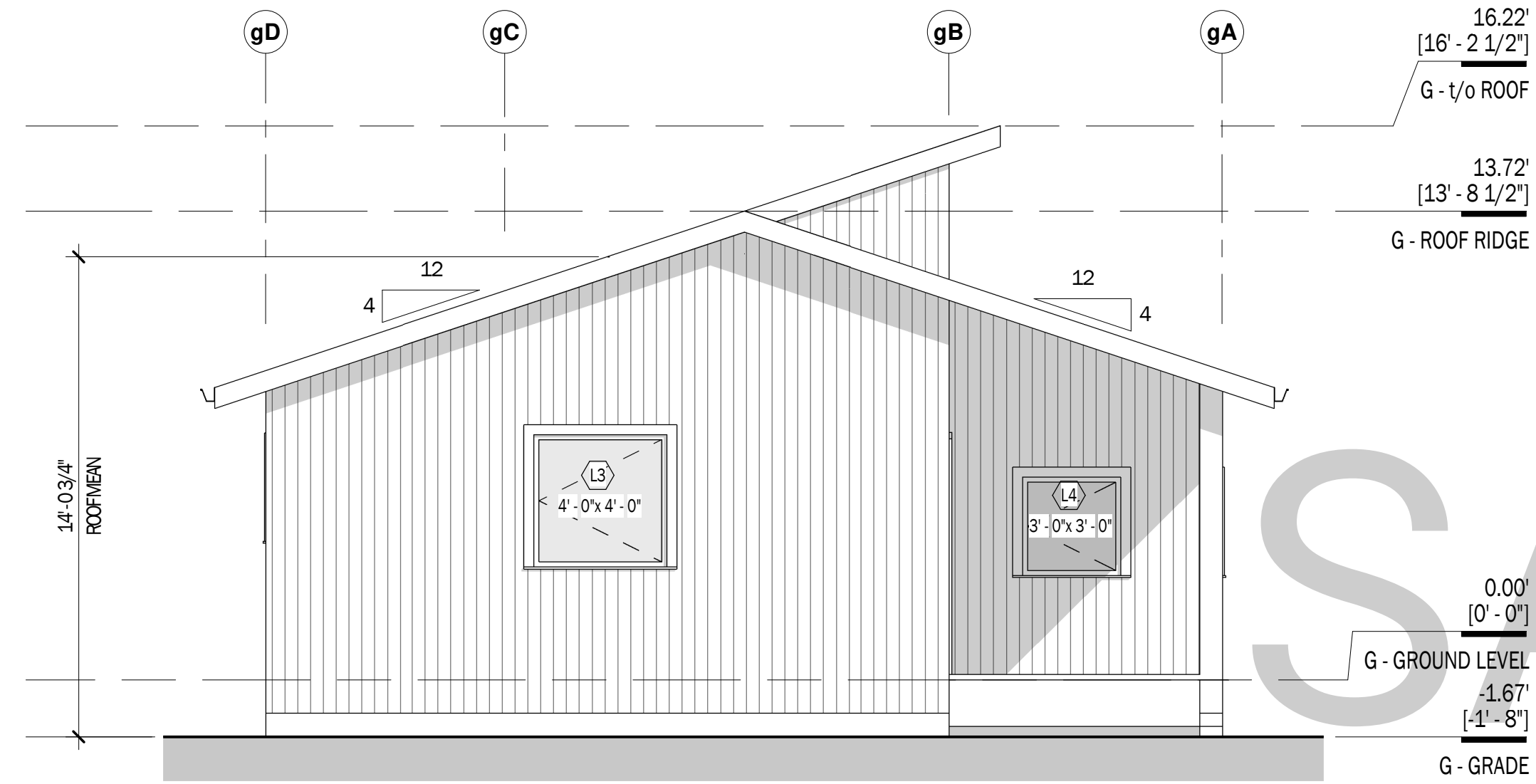
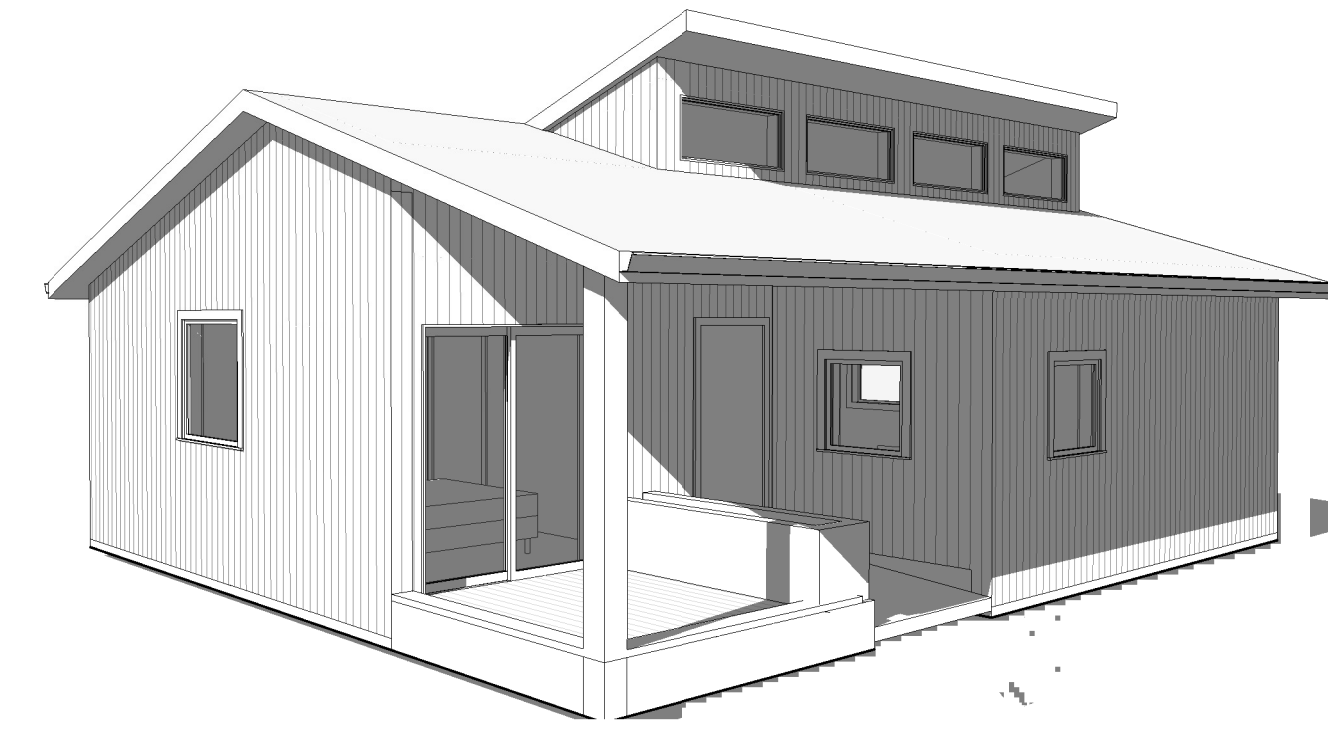
Quesnel ADU
03 GROUSE GARDEN FLAT
(SECONDARY DWELLING)

address: _____ project no. _____

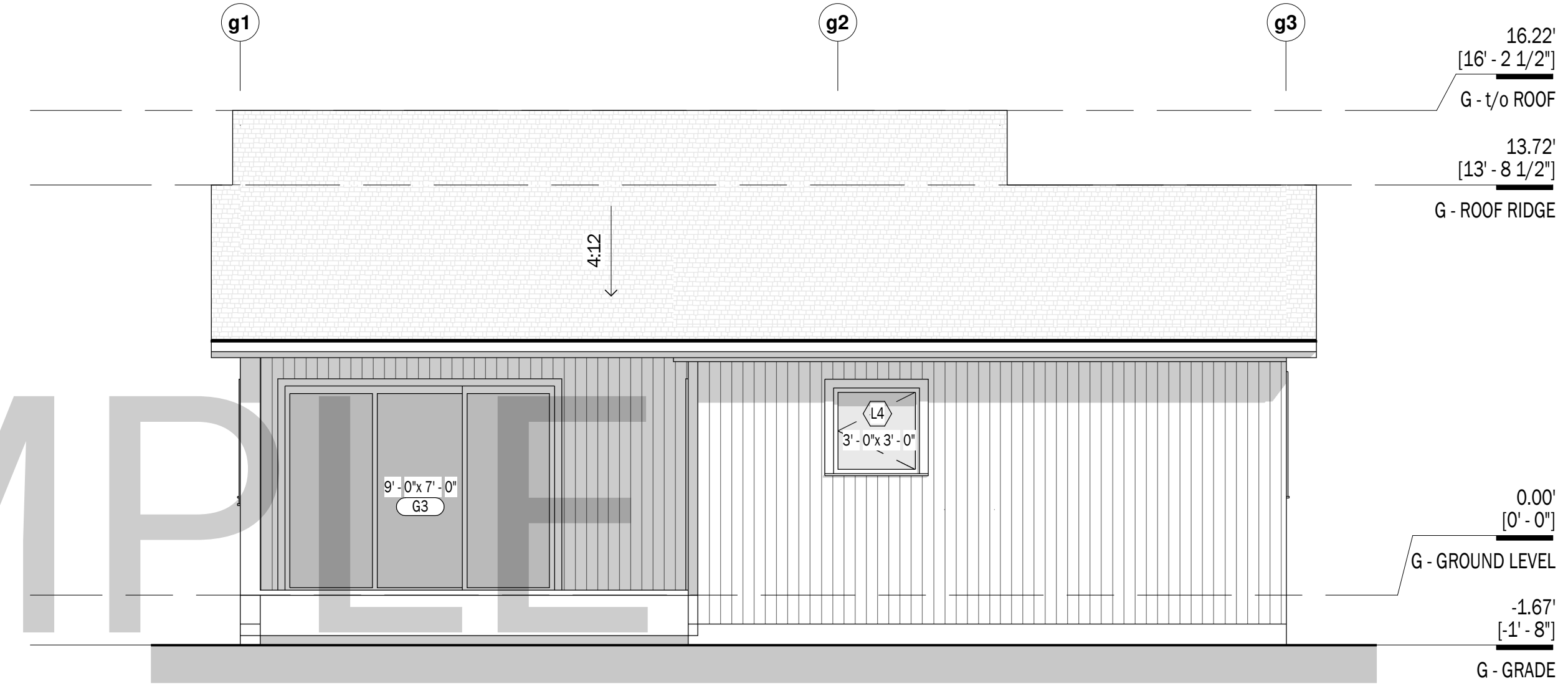
date: _____ scale: 1/4" = 1'-0"

FLOOR PLANS

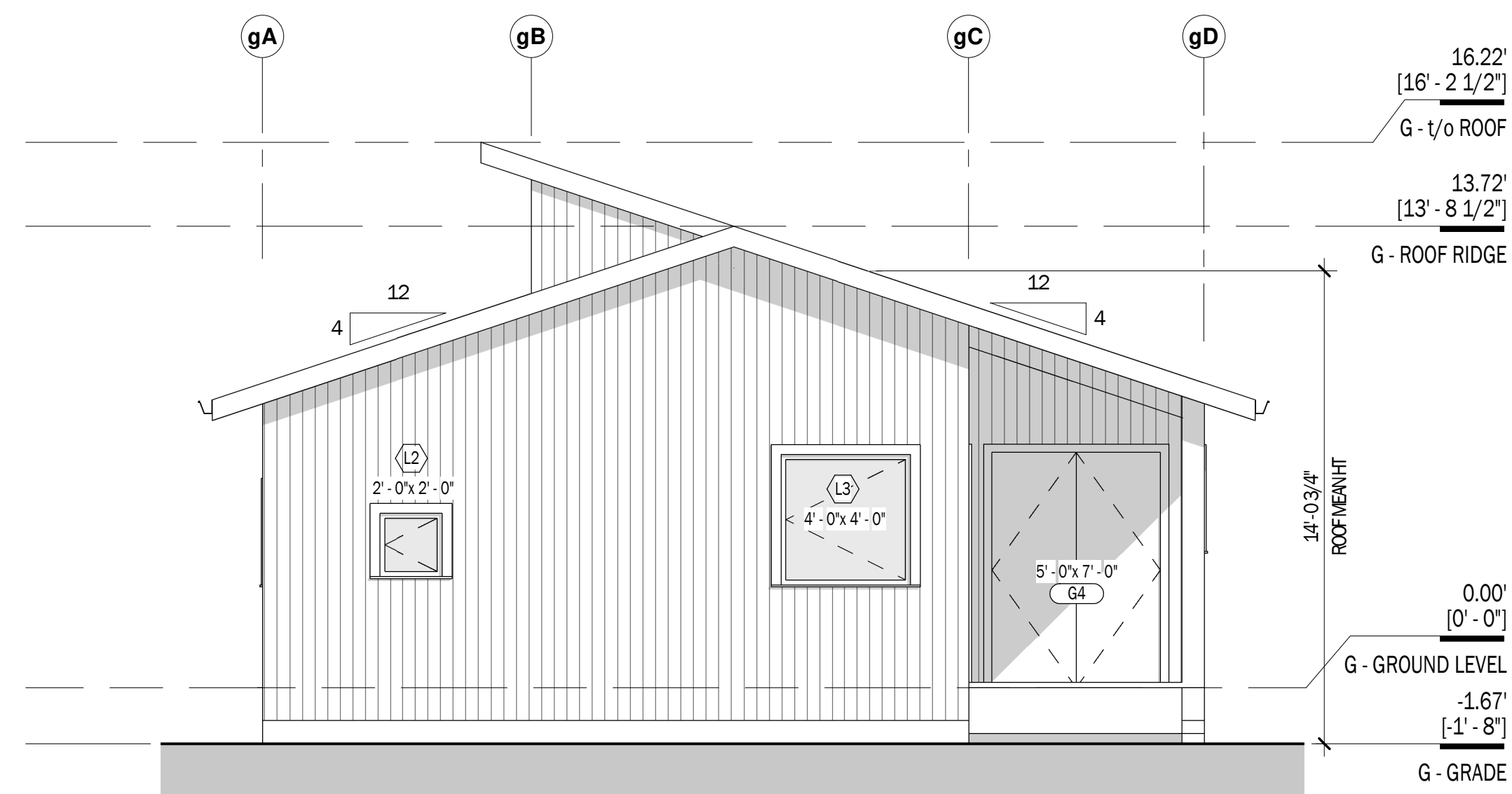
G_A100



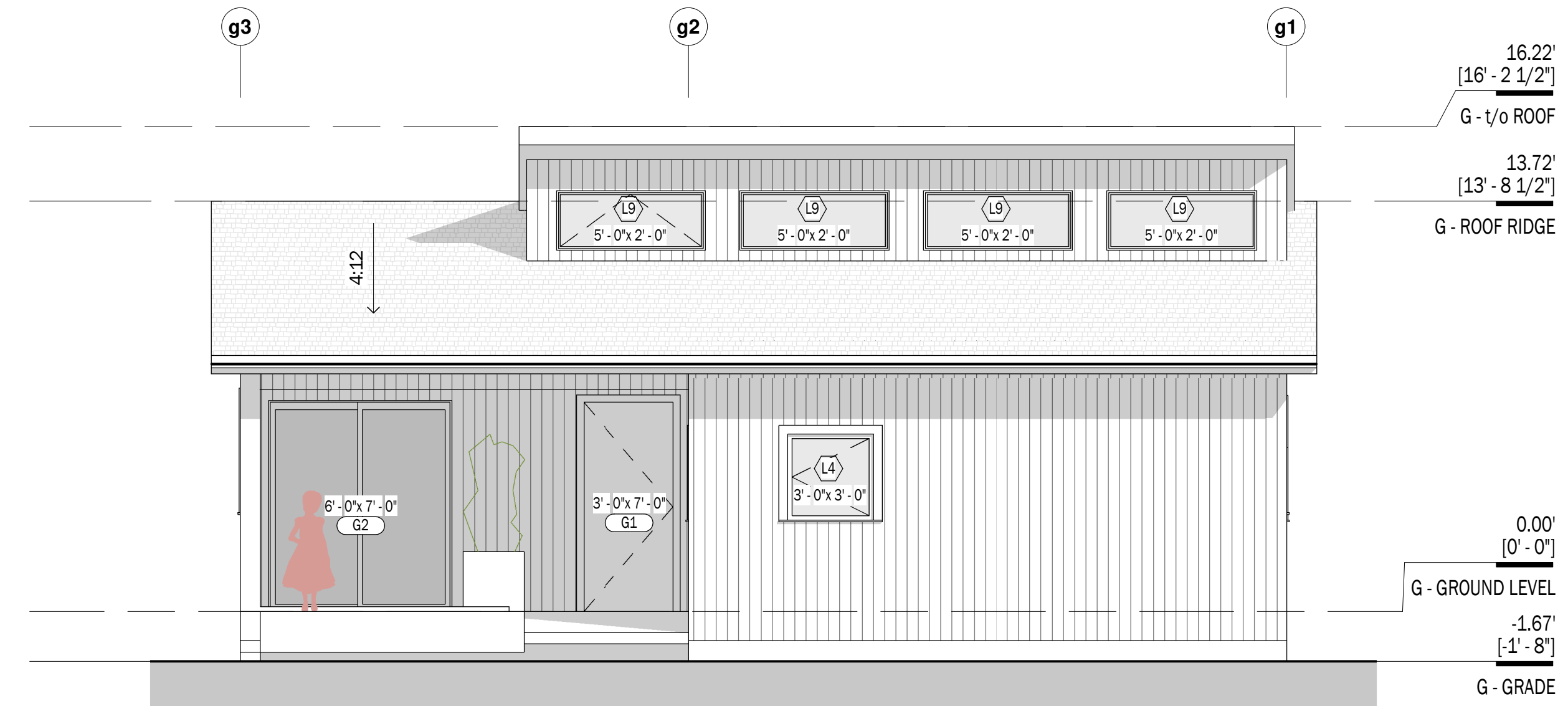
1 ELEVATION 1
1/4" = 1'-0"



2 ELEVATION 2
1/4" = 1'-0"



4 ELEVATION 4
1/4" = 1'-0"



3 ELEVATION 3
1/4" = 1'-0"

NOT FOR PERMIT

issues / revisions:

no.	issue / revision	date

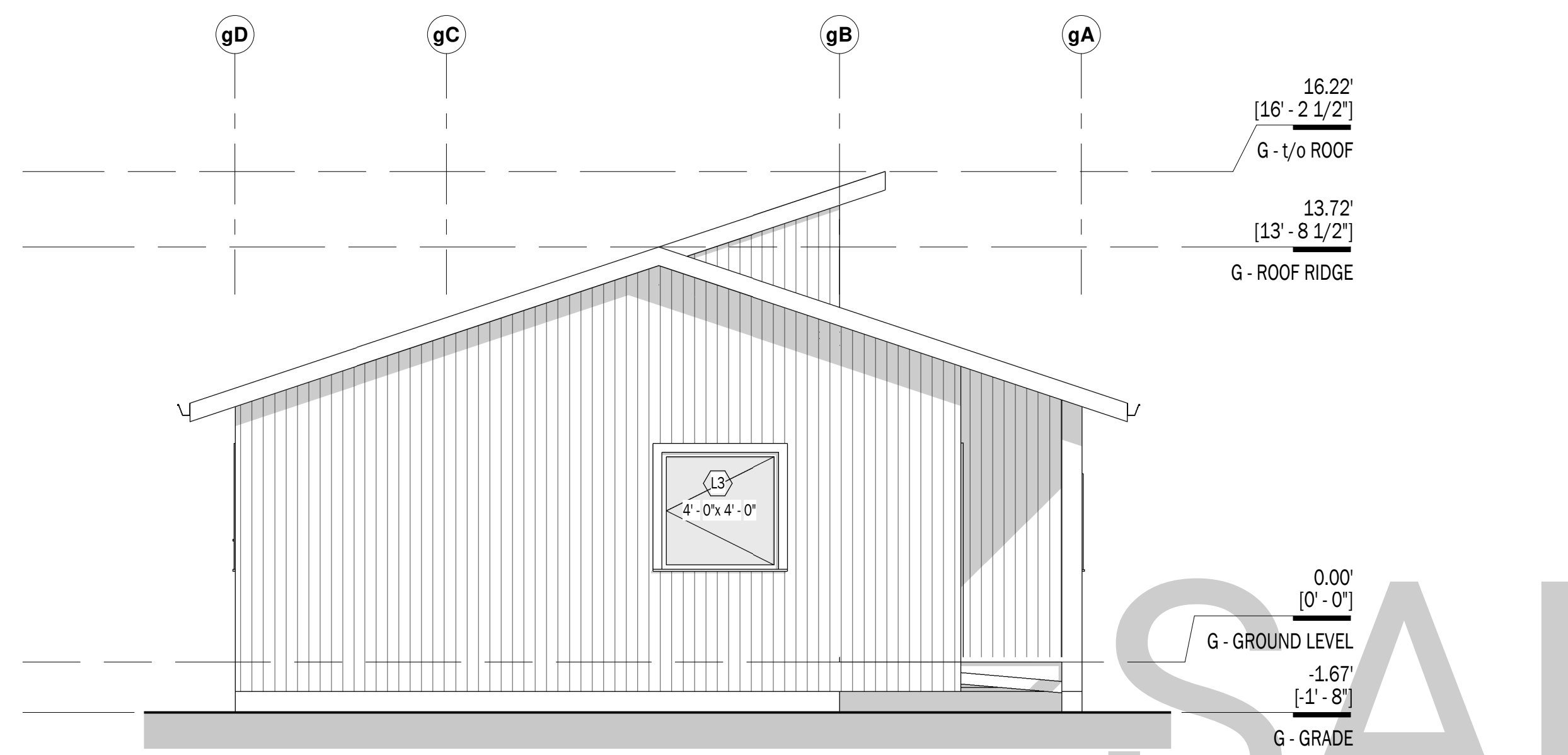
Quesnel ADU
03 GROUSE GARDEN FLAT
(SECONDARY DWELLING)

address: _____ project no. _____

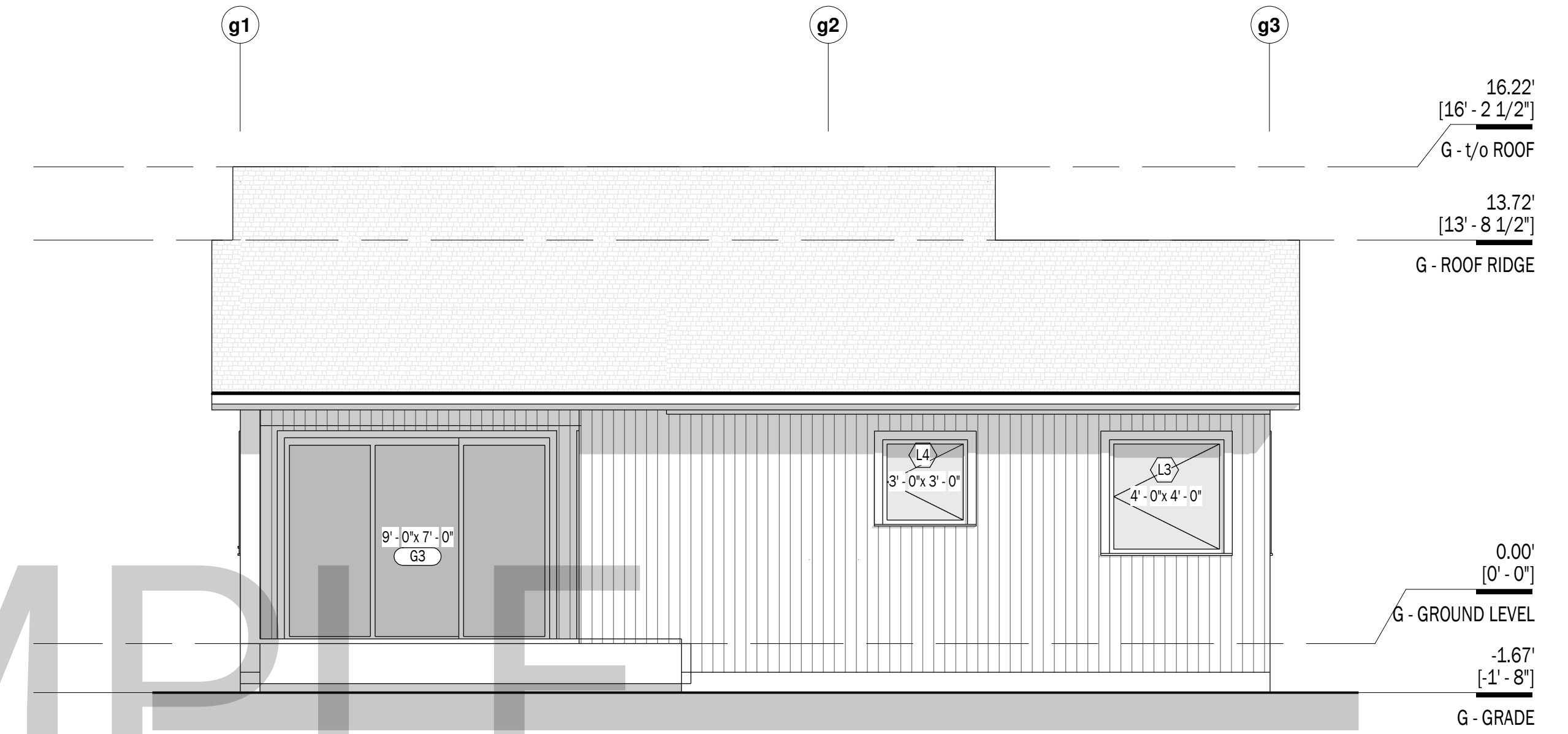
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BUILDING ELEVATIONS

G_A200

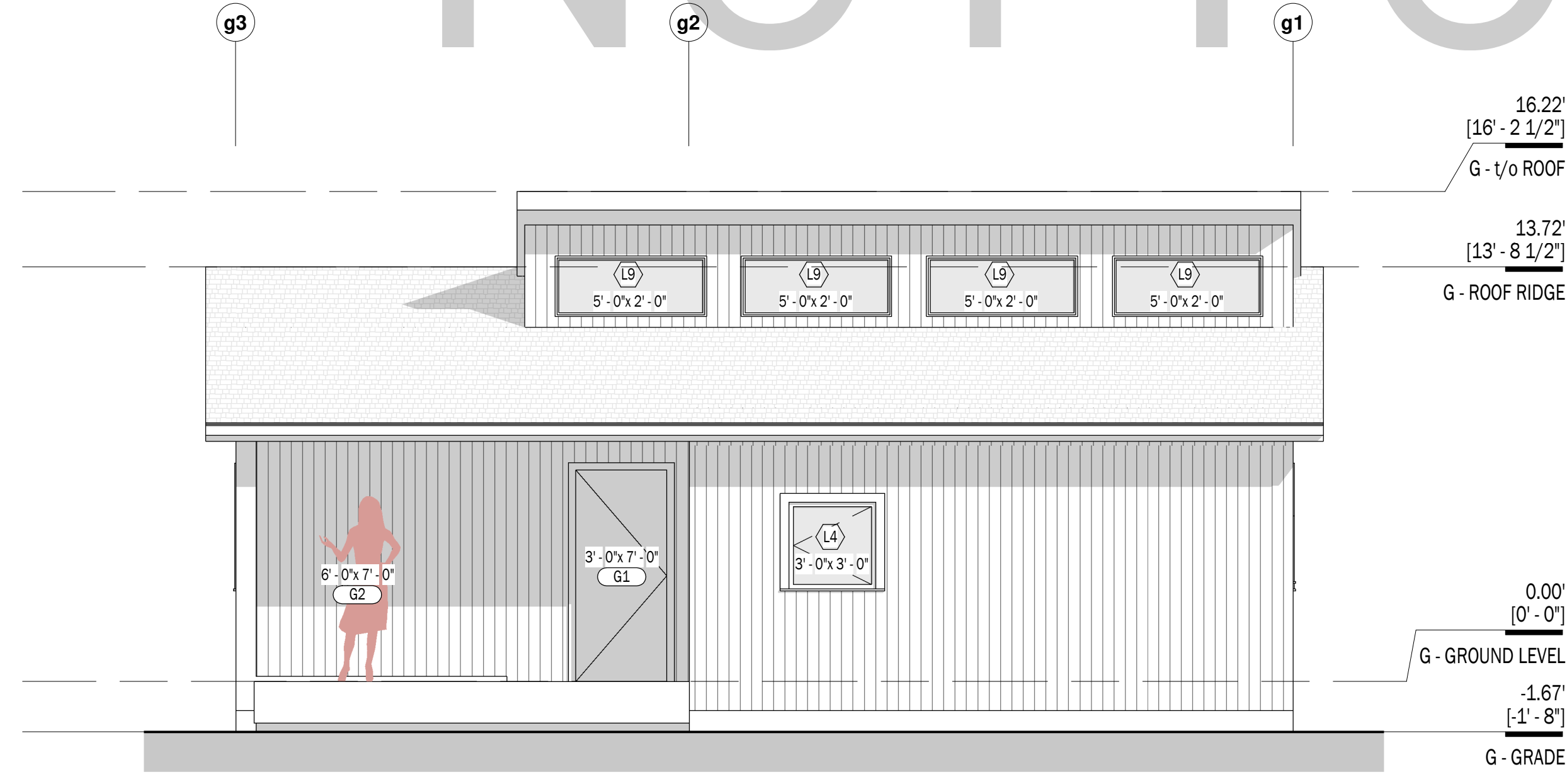


1 ELEVATION 1
1/4" = 1'-0"

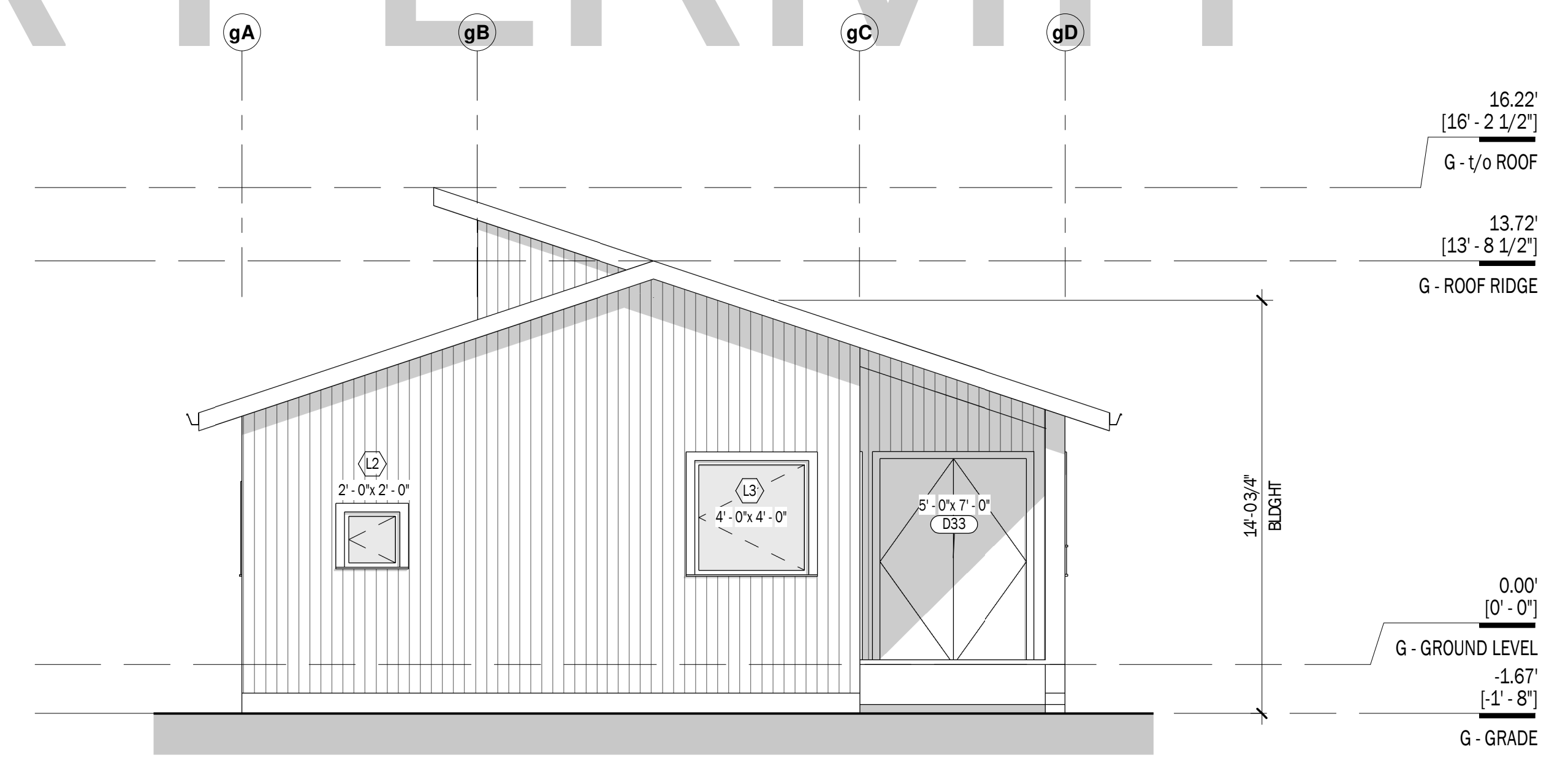


2 ELEVATION 2
1/4" = 1'-0"

NOT FOR PERMIT



3 ELEVATION 3
1/4" = 1'-0"



4 ELEVATION 4
1/4" = 1'-0"

issues / revisions:

no.	issue / revision	date

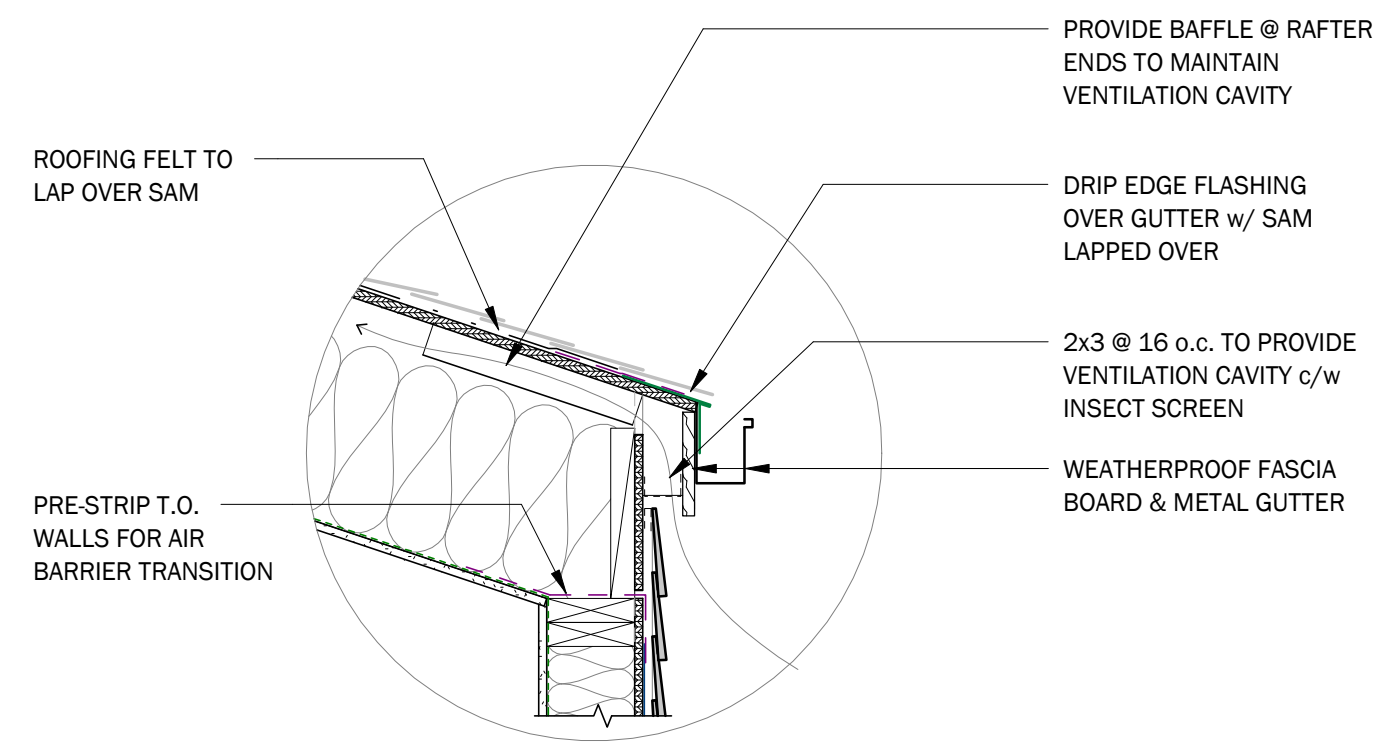
Quesnel ADU
03 GROUSE GARDEN FLAT
(SECONDARY DWELLING)

address: _____ project no. _____

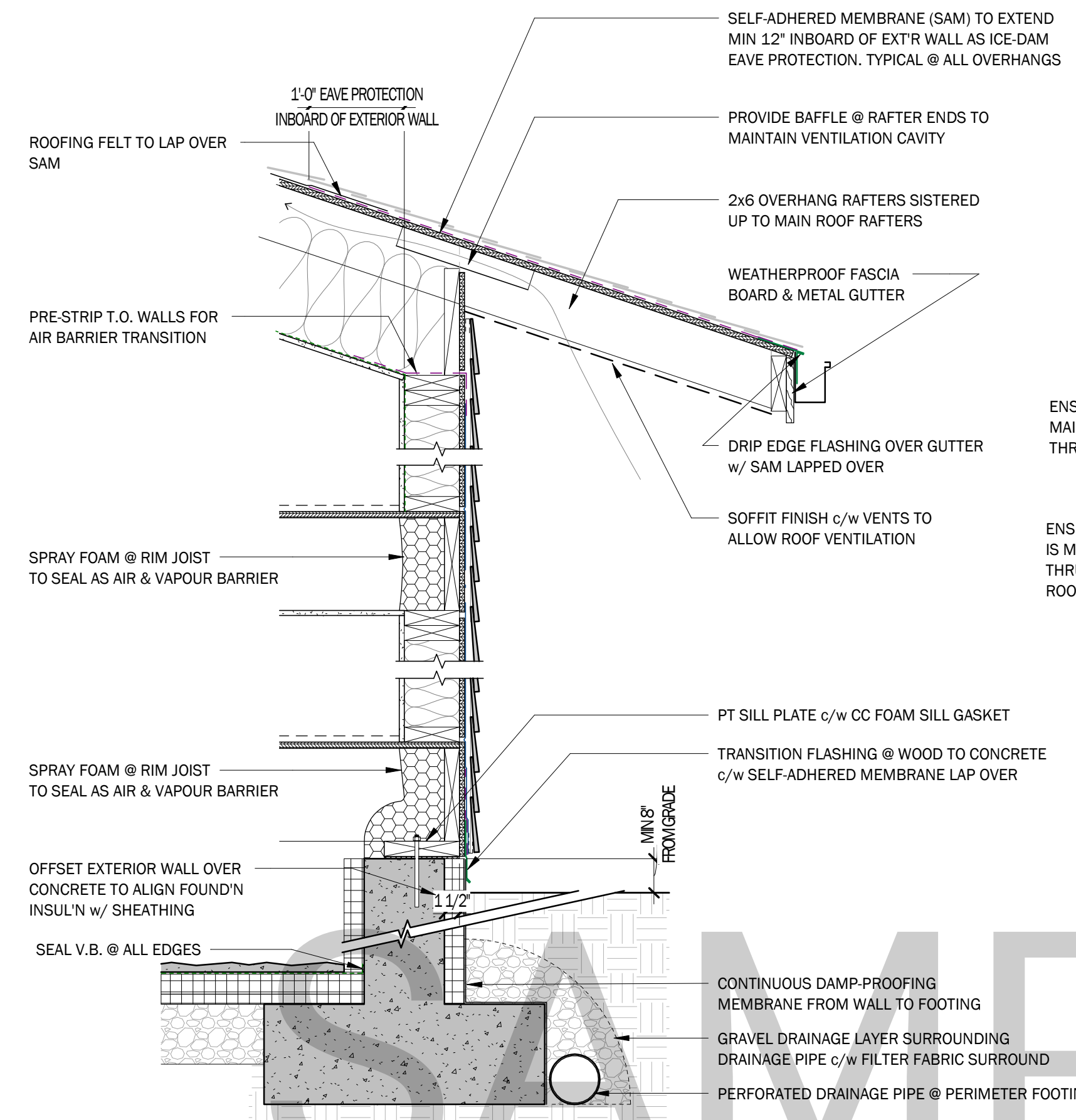
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BUILDING ELEVATIONS
- TWO BEDROOM
VERSION

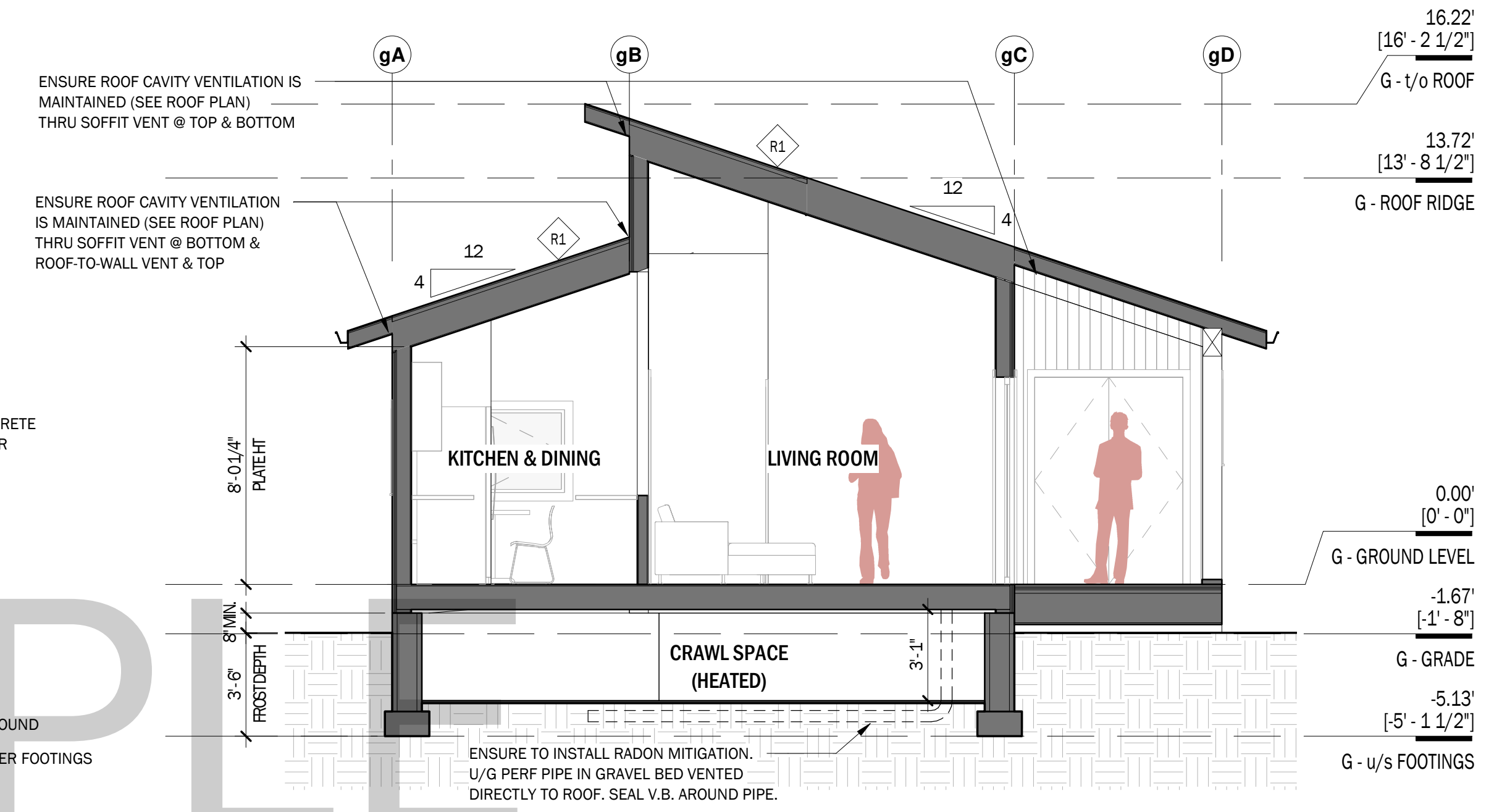
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NO OVERHANG OPTION

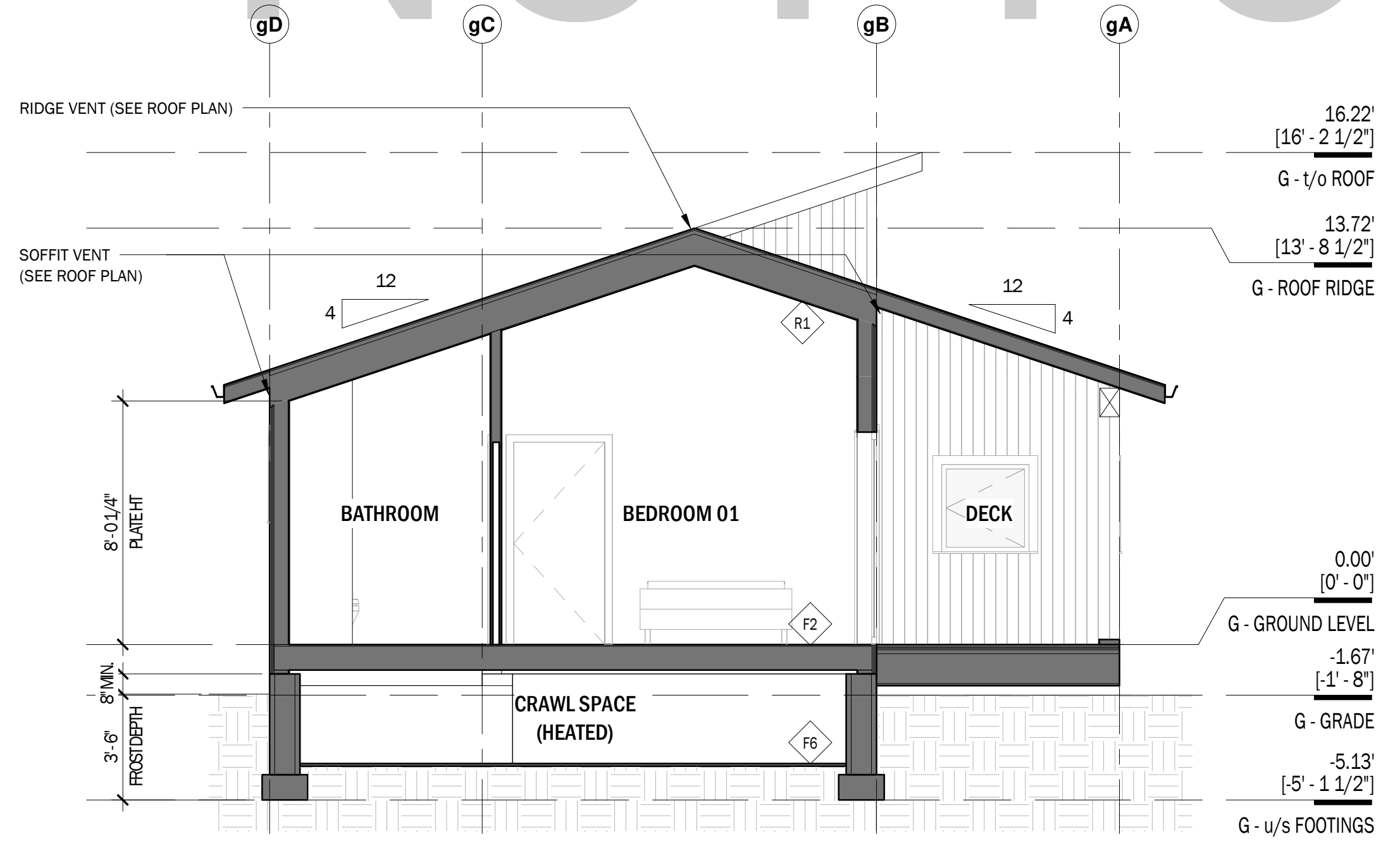


3 TYP. WALL SECTION
1" = 1'-0"

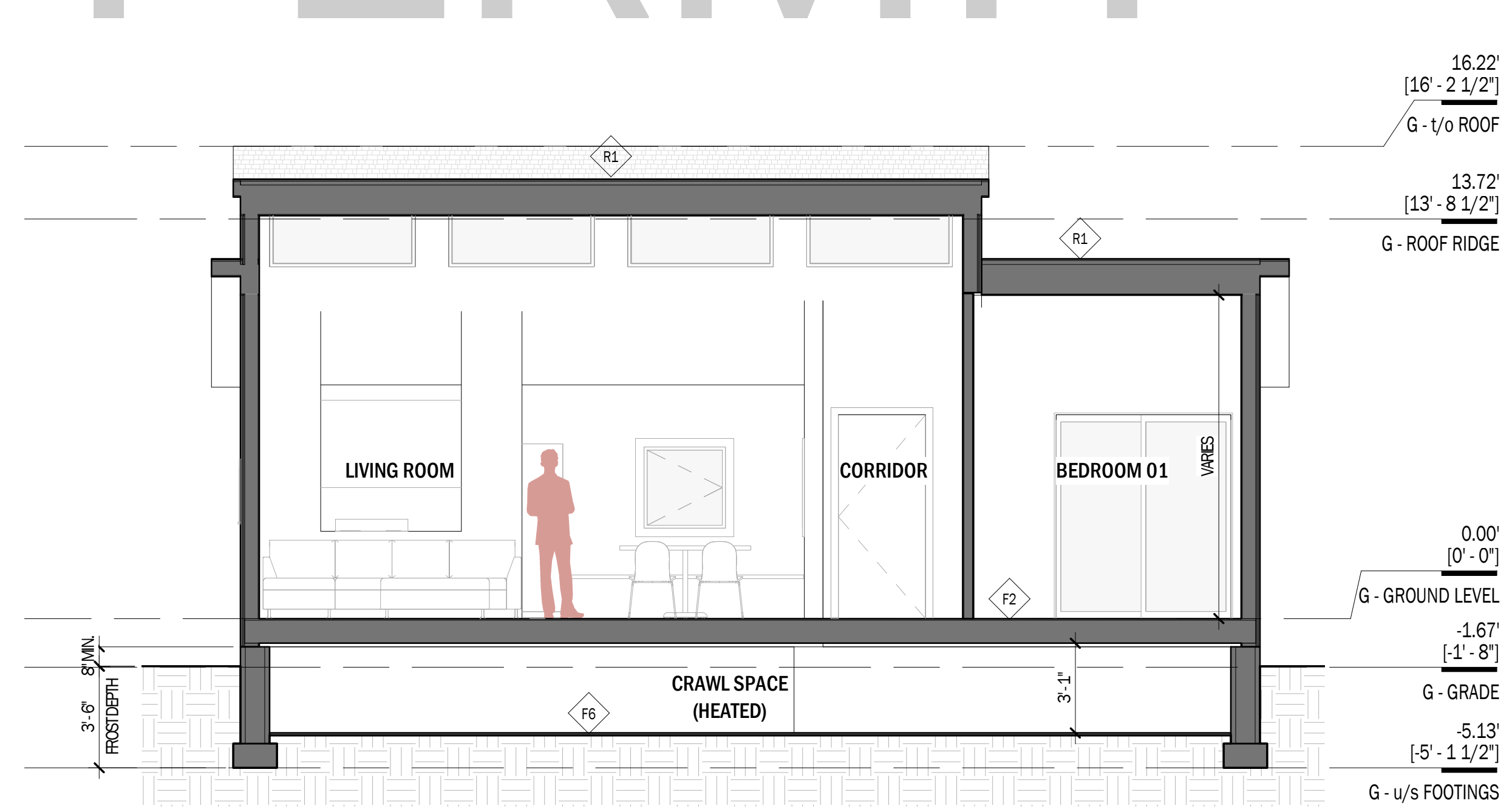


1 SECTION A
1/4" = 1'-0"

NOT FOR PERMIT



4 SECTION C
1/4" = 1'-0"



2 SECTION B
1/4" = 1'-0"

issues / revisions:

no.	issue / revision	date

Quesnel ADU
03 GROUSE GARDEN FLAT
(SECONDARY DWELLING)

address: _____ project no. _____
date: _____ scale: As indicated

BUILDING SECTIONS

G_A300