Quesnel ADU - 02 Quail's Quarters

TONY OSBORN ARCHITECTURE + DESIGN INC. 204 - 343 Railway St Vancouver BC V6A 1A4 778 244 4470 www.toad.design

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SCOPE OF WORK

ISSUED FOR BP

936sf CARRIAGE HOME OVER 710sf GARAGE ACCESSORY TO PRINCIPAL DWELLING. 2 BEDROOM, 1 BATH & A COVERED DECK UPSTAIRS WITH OPTION TO OPT OUT OF 2nd BEDROOM DOWNSTAIRS FOR A 3rd CAR SPACE IN GARAGE

ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

ZONING:

SITE AREA:

DRAWING LIST

Q_A300 BUILDING SECTIONS

Q_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2 Q_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4 Q_A002 NOTES & SCHEDULES Q_A003 ASSEMBLIES Q_A100 FLOOR PLANS Q_A200 BUILDING ELEVATIONS

ENERGY SUMMARY

THIS DESIGN MEETS STEP 3 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS: (NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

ASSEMBLIES (PER ASSEMBLIES PAGE)

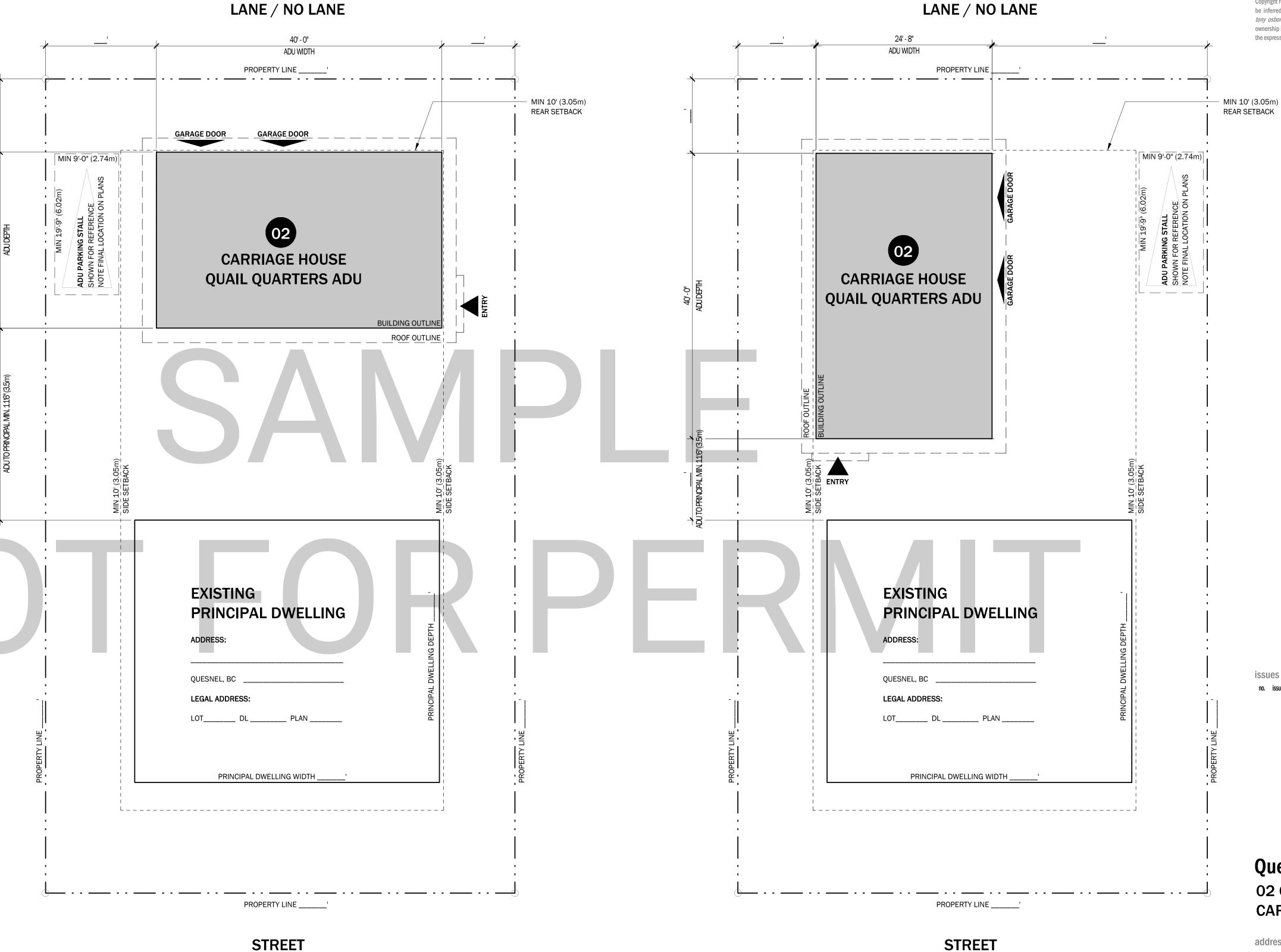
R-24 BATT INSUL. IN 2x6 @ 24" o.c. ROOF: R-50 BATT INSUL. IN 2x12 @ 24" o.c. EXPOSED FLOOR: R-28 BATT INSUL. IN 2x10 @ 16" o.c. FOUNDATION WALLS: 8" CONCRETE w/ R-22 ICF BLOCK SLAB ON GRADE: R-12 FULL SLAB AIR LEAKAGE: 2.5 ACH

HEATING/COOLING: HEAT PUMP WITH CONDENSING GAS BACKUP HOT WATER: NATURAL GAS CONDENSING TANKLESS NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT

VENTILATION: HRV 21 l/s

VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)



STREET



SITE PLAN - OPTION 2

Quesnel ADU 02 QUAIL'S QUARTERS **CARRIAGE HOUSE**

issues / revisions:

no. issue / revision

project no.

COVER SHEET & SITE PLAN OPTIONS 1 & 2

Quesnel ADU - 02 Quail's Quarters

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Q_A300 BUILDING SECTIONS

Q_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
Q_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
Q_A002 NOTES & SCHEDULES
Q_A003 ASSEMBLIES
Q_A100 FLOOR PLANS
Q_A200 BUILDING ELEVATIONS

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ASSEMBLIES (PER ASSEMBLIES PAGE)

WALLS:
R-24 BATT INSUL. IN 2x6 @ 24" o.c.
ROOF:
R-50 BATT INSUL. IN 2x12 @ 24" o.c.
EXPOSED FLOOR:
R-28 BATT INSUL. IN 2x10 @ 16" o.c.
FOUNDATION WALLS:
SLAB ON GRADE:
R-12 FULL SLAB

AIR LEAKAGE: 2.5 ACH

HEATING/COOLING:
HOT WATER:

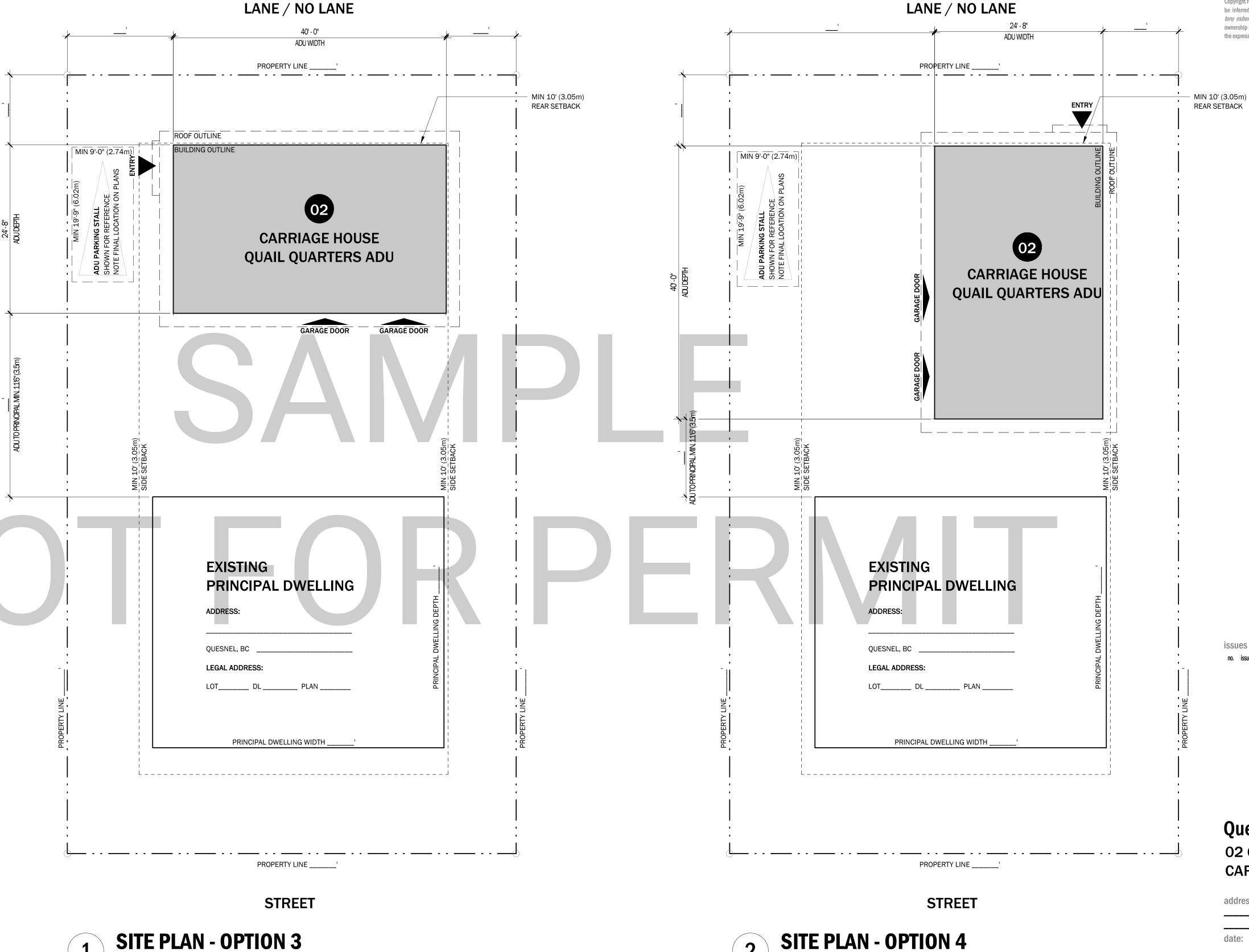
HEAT PUMP WITH CONDENSING GAS BACKUP

NATURAL GAS CONDENSING TANKLESS

NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT

VENTILATION: HRV 21 l/s

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE) U 1.5 SHGC 0.3 VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S



issues / revisions:

Quesnel ADU

CARRIAGE HOUSE

02 QUAIL'S QUARTERS

project no.

no. issue / revision

ABBREVIATIONS

ADI	DILVIATIONS		
ADJ	ADJUSTABLE	N/A	NOT APPLICABLE
A.F.F.	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
	ALUMINUM	No.	NUMBER
AMB		NTS	NOT TO SCALE
ANN ANOD		0.C.	ON CENTRE
ARCH		0.c. 0.D	
7111011	ANOTHIESTOTAL	O.B OH	
B/B	BACK TO BACK	OPP	
BD	BOARD		OPENING
BG			OVERFLOW SCUPPER
	BUILDING	OWSJ	OPEN WEB STEEL JOIST
BLKG BOT / F	BLOCKING BTM BOTTOM	PKG	PARKING
	BOTTOM OF		PLASTIC LAMINATE
	BOTH SIDES	PL	PLATE
•		PLY	PLYWOOD
СВ	CATCH BASIN		PAINTED
CC	CLOSED CELL		POWDER COATED
CG CJ	CORNER GUARD CONTROL JOINT		PRESSURE TREATED PEEL & STICK (SEE SAM)
CL	CENTRE LINE	1 00	TELE & STICK (SEE SAIVI)
CLR	CLEAR	RB	RUBBER BASE
C.O.	CONCRETE OPENING	R.C.B.	RUBBER COVE BASE
COL	COLUMN	RD	
CONC			ROUGH OPENING
CONT		-	REQUIRED
c/w	COMPLETE WITH	-	REQUIREMENT RETENTION
DD	DECK DRAIN	REV	
DF	DRINKING FOUNTAIN	RM	
DIM	DIMENSION	RWL	RAIN WATER LEADER
DN	DOWN		
DWG	DRAWING	SAM	SELF ADHERED MEMBRANE
E/A	EXHAUST AIR	SECT	(PEEL & STICK) SECTION
E.G.	EXISTING GRADE	SIM.	SIMILAR
	EXPANSION JOINT		SPECIFICATION
ELEC	ELECTRICAL	SQ	SQUARE
,	EV ELEVATION		STAINLESS STEEL
-	EQUAL (FOR FOURMENT	STL	
	'EQP EQUIPMENT EACH SIDE		STANDARD STRUCTURAL
,	(STG EXISTING	SIRUC	STRUCTURAL
,	EXPANSION	T.O.	TOP OF
	EXTERIOR		TYPICAL
			N TRANSITION
	FLOOR DRAIN	TWS	TACTILE WARNING SURFACE
F.D.C	FIRE DEPARTMENT CONNECTION	LINIO	LINI FCC NOTED OTHERWISE
F.E.C	(OR CABINET) FIRE EXTINGUISHER CABINET	UNO U/S	UNLESS NOTED OTHERIWSE UNDERSIDE
FF		0/0	CIVELICIE
F.G.	FINISHED GRADE	VB	VAPOUR BARRIER / RETARDER
FIN.	FINISH	VCT	VINYL COMPOSITION TILE
	FLOOR		VERTICAL
	FALL RESTRAINT	VOSAM	VAPOUR-OPEN SELF-ADHERED
FRIVITG	FRAMING		MEMBRANE
Ga	GAUGE	w/	WITH
GALV		•	WITHOUT
G.I.			
GL		WWM	WELDED WIRE MESH
	GALVANIZED SHEET METAL		
GWB	GYPSUM WALL BOARD / DRYWALL	R // A -	FEDIALO
НВ	HOSE BIBB	WA	TERIALS
	HORIZONTAL	AL	
HR	HOUR	ACV	ALUMINUM-CLAD VINYL
HRX / I	HR EXT HANDRAIL EXTENSION		ANODIZED
LICC	LIQUI OW STEEL SECTION	BG CHL	BAR GRATE
HSS HWT	HOLLOW STEEL SECTION HOT WATER TANK	EM	CHAINLINK (GALVANIZED) EXPANDED METAL MESH
111	THOT WATER TANK	FG	FIBERGLASS
I.D.	INSIDE DIAMETER		GLASS (TEMPERED)
	(OR INTERIOR DESIGN)	GF	FROSTED GLASS (TEMPERED)
I.G.	INTERPOLATED GRADE	GW	WIRED GLASS
INSUL.		l D	INSULATED
INT'R	INTERIOR	P PC	PAINT POWDER COATED
LA	LANDSCAPE ARCHITECT	PSF	PRESSED STEEL FRAME
LG	LONG	PF	PREFINISHED
LOC	LOCATION	PM	PRESSED METAL
LS	LANDSCAPE	SCW	SOLID CORE WOOD
B # 4 3 /	NAAVINALINA	STL	STEEL CALVANIZED STEEL
MAX MECH	MAXIMUM MECHANICAI	STG SW	GALVANIZED STEEL STAINED WOOD

SW STAINED WOOD

VINYL

W WOOD

<u>/1\</u>

Room name

101

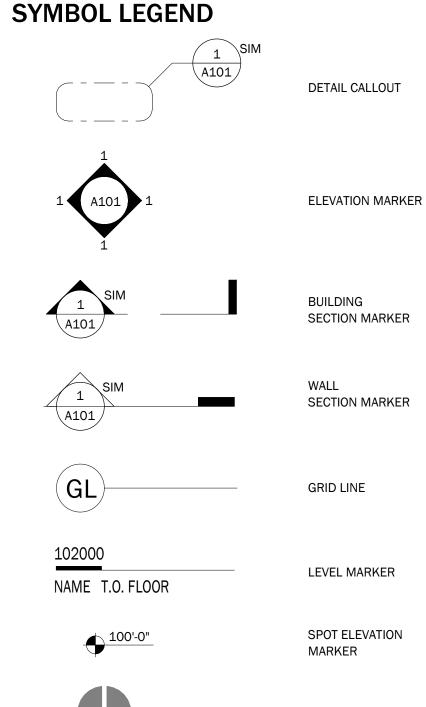
150 SF

10 T @ 11"

D100

20R@61/2"

View Name



NORTH ARROW

REVISION CLOUD

REVISION TAG

ROOM TAG

STAIR TAG

DOOR TAG

WINDOW TAG

ASSEMBLY TAG (WALL, FLOOR, ROOF)

CEILING TAG

FINISH TAG

RAILING TAG

SMOKE & CO2

DRAWING TITLE

DETECTOR

SMOKE DETECTOR

GENERAL NOTES

- 1 THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED
- 2 ALL WORK CARRIED OUT SHALL CONFORM TO BC BUILDING CODE 2018 (AND/OR APPLICABLE BYLAWS & REGULATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION). 3 ALL PLANS MUST BE CHECKED AND APPROVED BY A QUALIFIED STRUCTURAL ENGINEER; AND SOIL ENGINEER IF NECESSARY.
- 4 CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER. 5 DESIGNER ASSUMES NO LIABILITY FOR ERROR, OMISSION, DEFICIENCY, DESIGN OR
- STRUCTURAL FLAW 6 DO NOT SCALE DRAWINGS.
- 7 CONTRACTOR IS RESPONSIBLE FOR ON SITE LOCATION OF BUILDING AND SERVICES.
- BUILDING SETBACKS TO BE CONFIRMED WITH SURVEYOR PRIOR TO CONSTRUCTION. 8 ALL CONCRETE FORMWORK, SHORING FOR THE EXCAVATION AND UNDERPINNING OF ADJACENT STRUCTURES, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED IN ACCORDANCE WITH W.C.B. REGULATIONS.
- 9 CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.
- 10 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE, AND W.C.B. PAYMENT. 11 OPENING SIZES FOR MANUFACTURED COMPONENTS TO BE VERIFIED WITH EACH INDIVIDUAL
- SUPPLIER OR MANUFACTURER.
- 12 PROVIDE ALUM. / GALV. STEEL FLASHING OVER ALL EXTERIOR WALL OPENINGS, DOORS, WINDOWS, PARAPETS, ROOF CURES, AND AROUND ALL ROOF PENETRATIONS.
- 13 CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS. 14 ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH
- CONTINUOUS CLOSED CELL POLYETHYLENE DAMP-PROOFING STRIPS. 15 PROVIDE MINIMUM 8" CLEARANCE BETWEEN FINISHED GRADE AND STUCCO, WOOD, OR ANY FINISHES.
- 16 FACTORY BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO ULC S 610, "STANDARD FOR FACTORY BUILT FIREPLACES".
- 17 PROVIDE CONTINUOUS MIN. 4" DIA. PERFORATED PLASTIC DRAIN PIPE WITH MIN. 6" CLEAN GRAVEL COVER TO ENTIRE PERIMETER OF BUILDINGS. CONNECT ALL ROOF, PATIO / DECK, PORCH, PARKING, AND FOUNDATION DRAINAGE TO STORM SEWER.
- 18 PROVIDE 2 LAYERS OF BITUMINOUS DAMP-PROOFING OVER CONCRETE FOUNDATION WALLS IN CONTACT WITH GRADE, DOWN TO FOOTING.
- 19 CEILING INSULATION SHALL NOT OBSTRUCT SOFFIT VENTILATION. STOPS OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND
- UNDERSIDE OF ROOF ASSEMBLY. 20 FACTORY BUILT GLASS / PLASTIC SKYLIGHTS SHALL MEET PERFORMANCE REQUIREMENTS
- OF CGSP 63-GP-<u>14M</u>. 21 ALL GLAZING EXTENDING LESS THAN 12" ABOVE FINISHED FLOOR SHALL BE TEMPERED. 22 EXCEPT FOR SPRINKLERED BUILDINGS, PROVIDE WINDOW ACCESS TO THE EXTERIOR FOR
- ALL BEDROOMS CONFORMING TO BCBC SENTENCE 9.7.1.3 & 9.7.1.4. 23 SMOKE ALARMS TO COMPLY WITH BCBC 9.10.19 & 9.36.2.20. INSTALL SMOKE ALARM / CARBON MONOXIDE DETECTOR CONFORMING TO ULC-S531 "STANDARD FOR SMOKE
- ALARMS" TO EACH STOREY. 24 PROVIDE MECHANICAL VENTILATION SYSTEM AT LEAST ONE HALF AN AIR CHANGE PER
- 25 ALL WALLS DIMENSIONED FROM FACE OF SHEATHING, DRYWALL, OR CONCRETE.
- 26 WHERE SHOWN, MILLWORK AND CABINETS DIMENSIONED FROM FACE OF DRYWALL.
- 27 GRID LINES ARE TO FACE OF CONCRETE, SHEATHING, OR DRYWALL.
- 28 EXTERIOR WALL SHEATHING TO ALIGN WITH FACE OF CONCRETE.
- 29 FRAMING LUMBER TO BE D.FIR #2 OR BETTER.
- 30 STRUCTURAL CONCRETE TO BE 25MPa.
- 31 PER BCBC 2018 9.19.1.2, PROVIDE VENTING OF ROOF CAVITY VIA UNOBSTRUCTED VENT AREA NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. ROOF VENTS TO BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING.

ENERGY COMPLIANCE:

THIS PROJECT IS DESIGNED TO COMPLY & EXCEED STEP 3 OF THE BC ENERGY STEP CODE. SEE ENERGY SUMMARY ON COVER SHEET FOR DETAILS

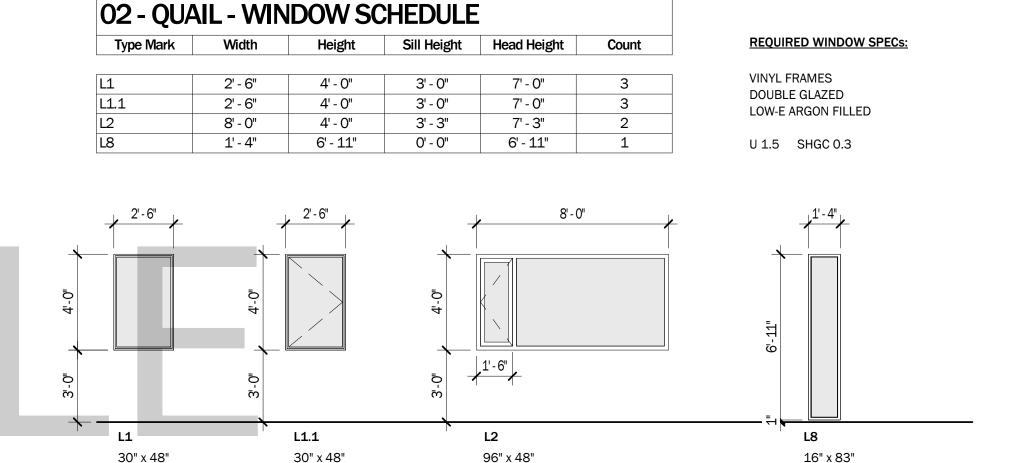
AREAS SUMMARY:

GROUND FLOOR 232.9 sf SECOND FLOOR 720.1 sf 953.0 sf TOTAL DWELLING

574.8 sf excl. STORAGE & MECH 179.0 sf (PART OF GARAGE)

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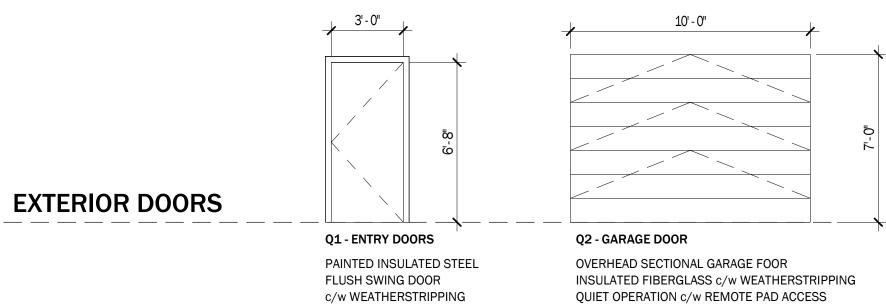


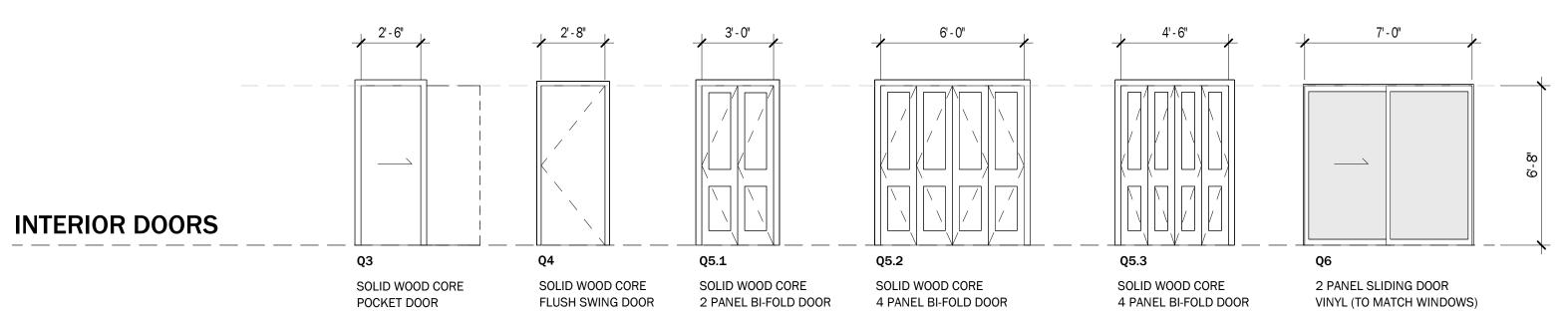
CASEMENT - PICTURE WINDOW

Mark	Width	Height	Material	Finish	Frame Material	Count	Comments
Q1	3' - 0"	6' - 8"	I, STL		W	2	INSULATED, WEATHERSTRII CLOSER
Q2	10' - 0"	7' - 0"	I, STL			3	
Q3	2' - 6"	6' - 8"	SCW	Р	W	1	
Q4	2' - 8"	6' - 8"	SCW	Р	W	4	
Q5.1	3' - 0"	6' - 8"	W	Р	W	1	
Q5.2	6' - 0"	6' - 8"	W	Р	W	2	
Q5.3	4' - 6"	6' - 8"	W	Р	W	2	
Q6	7' - 0"	6' - 8"	V	Р	V	1	



FIXED SIDELITE (TEMPERED)





FIXED WINDOW

CASEMENT WINDOW

Quesnel ADU 02 QUAIL'S QUARTERS

CARRIAGE HOUSE

issues / revisions:

no. issue / revision

project no.

NOTES & SCHEDULES

1/4" = 1'-0"

Q_A002

MECH MECHANICAL

M.O. MASONRY OPENING

MIN MINIMUM

INSULATED SOFFIT OVER UNINSULATED SPACE

FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T & G PLYWOOD DECKING (BUTT JOINTS TO BE SEALED W/ CLEAR SEALANT) VAPOUR BARRIER PRE-ENG TJI OR 2x10 WOOD JOISTS @ 24" o.c. R-28 BATT INSULATION BETWEEN JOISTS

AIR & MOISTURE BARRIER

1/2" CROSS STRAPPING SOFFIT FINISH c/w VENTS 0 h 54 FRR & STC REFERENCE: (IIC 48) BCBC 2018 Table D-2.3.4.-B & F BCBC 2018 TABLE 9.10.3.1.-B, F9d

WALL ASSEMBLIES

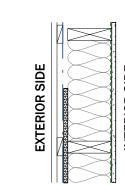
(WE1)

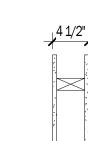
P1

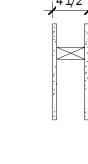
〈 P2 〉

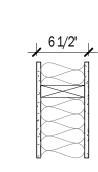
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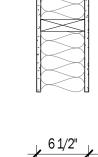
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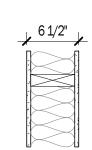


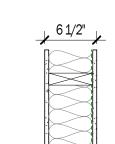














EXTERIOR WALL (RATED) 0 h | n/a CLADDING PER ELEVATIONS 1/2" x 2" PT PLYWOOD STRAPPING @ 16" o.c. INSTALLED OVER STUDS AIR & MOISTURE BARRIER [TYVEK RAINSCREEN] - TAPE ALL JOINTS (TRANSITION TO VAPOUR & AIR BARRIER @ ROOF -- PRE-STRIP TOP PLATES) PLYWOOD SHEATHING - REFER TO STRUC. 2x6 WOOD STUDS @ 24" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL UV RATED POLY VAPOUR BARRIER 1/2" GWB

FRR STC Remarks / Reference

TYPICAL INTERIOR 2x4 PARTITION WALL 0 h | n/a | GWB AT INTERIOR FACE OF WASHROOMS TO BE: 1/2" GWB PAPERLESS GWB, OR 2x4 WOOD STUDS @ 16" o.c. TILE BACKER BOARD AT TILED AREAS 1/2" GWB ADD BATT INSULATION AROUND WASHROOMS

INTERIOR 2x6 (PLUMBING) PARTITION WALL 0 h | n/a | GWB AT INTERIOR FACE OF WASHROOMS TO BE: 1/2" GWB PAPERLESS GWB, OR 2x6 WOOD STUDS @ 16" o.c. TILE BACKER BOARD AT TILED AREAS 1/2" GWB

INTERIOR 2x6 PARTITION WALL - GARAGE SEPERATION 1 h n/a BCBC 2018 Appendix D Table D-2.3.4.- A & E 5/8" TYPE 'X' GWB 2x6 WOOD STUDS @ 16" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL POLY VAPOUR BARRIER SEAL ALL EDGES (ON SUITE SIDE) 5/8" TYPE 'X' GWB

0 h | n/a | P5.0- 2x2

FRR STC Remarks

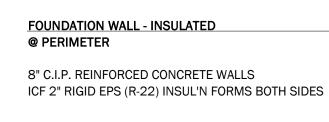
0 h n/a

1 h n/a

P5.1- 2x4

P5.2 2x6

FURRING WALL 1 LAYER OF 1/2" GYPSUM BOARD 2x_ WOOD FRAMING @ 16" o.c. (SEE NOTES)



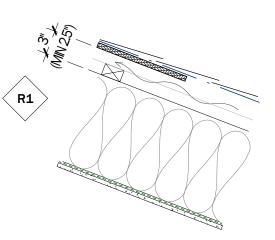
0 h | n/a | MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 34" x 34" x10" (SUPPORTING 2 FLOORS) POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)

FOUNDATION WALL -- UNINSULATED 8" C.I.P. REINFORCED CONCRETE WALLS

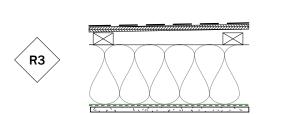
0 h n/a MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 34" x 34" x10" (SUPPORTING 2 FLOORS) POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)

ROOF TYPES

SLOPED ROOF - VAULTED CEILING (R50)



STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION 1/2" EXT. GRADE PLYWOOD SHEATHIN 3" (MIN 2.5") AIR GAP 2 LAYERS 2x3 ON FLAT CROSS STRAPPING ENSURE ADEQUATE VENTING @ PERIMETER & RIDGE PRE-ENG TJI RAFTERS OR PARALLEL CHORD TRUSSES R-50 MIN. (14") BATT INSULATION 6 MIL. POLY AIR & VAPOUR BARRIER 1/2" GWB



DECK OVER GARAGE

SCRIM - DURADEK ULTRA OR PRE-APPROVED EQUAL) 5/8" T&G EXTERIOR GRADE PLYWOOD SHEATHING 2 X 4 CROSS PURLINS INSTALLED PERPENDICULAR TO THE FLOOR JOISTS / TJI'S FOR AIR VENTILATION PER THE REQUIREMENTS OF BCBC 2 X -- TAPERED SHIMS INSTALLED OVER & PARALLEL TO FLOOR JOISTS / TJI'S (TO CREATE 1/4" IN 12" SLOPE TOWARDS EDGE / DRAINS) 2 X 10 FLOOR JOISTS OR TJI'S

MIN. 60 MIL. PVC (VINYL) DECK MEMBRANE (BACKING WITH WOVEN POLYESTER

R28 HIGH DENSITY BATT. INSULATION 6 MIL. UV RATED POLY VAPOUR BARRIER 5/8" TYPE 'X' GWB

GENERAL CONSTRUCTION NOTES

- 1. <u>SITE CONDITIONS:</u> THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. REPORT ALL SITE DISCREPANCIES IN WRITING TO DRAWING CONSULTANT.
- 2. <u>DIMENSIONS:</u> ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
- 3. <u>CONFORMANCE:</u> WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BC BUILDING CODE 2018 AND ALL PROVINCIAL CODES & MUNICIPAL BYLAWS.
- 4. <u>CONSTRUCTION SAFETY:</u> THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
- 5. <u>INSURANCES:</u> THE CONTRACTOR SHALL MAINTAIN AT HIS COST ALL NECESSARY INSURANCES INCLUDING THOSE ASKED FOR BY THE PROPRIETOR. THE PROPRIETOR SHALL INFORM HIS FIRE INSURANCE CO. OF WORK TO BE DONE.
- 6. <u>SITE PREPARATION:</u> INSTALL TEMPORARY DUSTPROOF PARTITIONS & ACCESS AROUND THE WORK
- 7. <u>DEMOLITION:</u> CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS. SUPPLY TEMPORARY SUPPORTS WHERE REQUIRED AS PER CODES & NORMS. REPAIR ADJACENT SURFACES.
- 8. MATERIALS: ONLY NEW MATERIALS SHALL BE USED. ALL MATERIALS SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- 9. <u>SCHEDULING:</u> IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE TO DRAWING CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 10. WINDOWS AND DOORS ARE NOTED AS NOMINAL SIZES, ROUGH OPENINGS TO BE CONFIRMED WITH MANUFACTURER REQUIREMENTS.
- 11. SHOP DRAWINGS: FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS
- 12. BACKING: PROVIDE BACKING IN STUD SPACE TO MECHANICALLY FASTEN GRAB BARS, HANDRAILS, GUARDRAILS, WALL-MOUNT ACCESSORIES, SHELVING & DISPLAY SYSTEMS TO SEISMIC AND STRUCTURAL REQUIREMENTS.
- 13. <u>ELECTRICAL SERVICE:</u> ELECTRICAL INFORMATION ON DRAWINGS IS FOR LAYOUT PURPOSES ONLY. ELECTRICAL CONTRACTOR TO ASSESS EXISTING SERVICE AND CONDITION. PROVIDE MODIFICATIONS AND UPGRADES TO SERVICE TO ACCOMMODATE PROPOSED DESIGN AS REQUIRED.
- 14. <u>ELECTRICAL PERMITS:</u> PROVIDE ELECTRICAL PERMIT FOR ELECTRICAL WORK INDICATED ON DRAWINGS. SUBMIT PERMIT & INSPECTION REPORTS TO ARCHITECT (AND CONSULTANT IF APPLICABLE).
- 15. <u>ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS</u>, ETC. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS & RECESSED CABINETS OR FIXTURES.
- 16. FIRE SEPARATIONS: THE DEMISING WALLS ARE TO REMAIN AS EXISTING. IT IS THE OWNER'S RESPONSIBILITY THAT THE FIRE RATING OF THE DEMISING WALLS ARE THE MINIMUM RATING AS REQUIRED BY THE CURRENT BUILDING CODE AND ALL CURRENT PROVINCIAL & MUNICIPAL BYLAWS & CODES.
- 17. FIRE RATING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND MAINTAIN THE FIRE RATING OF THE STRUCTURAL ELEMENTS REQUIRED BY ALL CURRENT PROVINCIAL CODES & MUNICIPAL BYLAWS.

INTERIOR WALL GENERAL NOTES

- ALL INTERIOR PARTITIONS ADJACENT TO WATER CLOSETS TO HAVE BATT INSULATION FULL HEIGHT FOR SOUND ATTENUATION.
- 2. LEVEL 4 FINISH ON ALL INTERIOR GWB SURFACES (LEVEL 4 JOINT COMPOUND ON JOINTS AND SCREW HEADS ONLY, SANDED SMOOTH)
- APPLY MILDEW RESISTANT SEALANT AROUND ALL WET AREAS INCLUDING BUT NOT LIMITED TO THE KITCHEN, BATH AND LAUNDRY TO FORM WATERTIGHT SEALS AROUND ALL FIXTURES, VANITIES, COUNTERTOPS, FAUCETS, DRAINS, ETC.
- 4. ALL ACCESSIBLE AND ADAPTABLE UNITS TO HAVE 1/2" PLYWOOD LET INTO STUDS FROM 24" AFF TO 5'-0" AFF FOR GRAB BAR AND ACCESSORY MOUNTING IN WASHROOM

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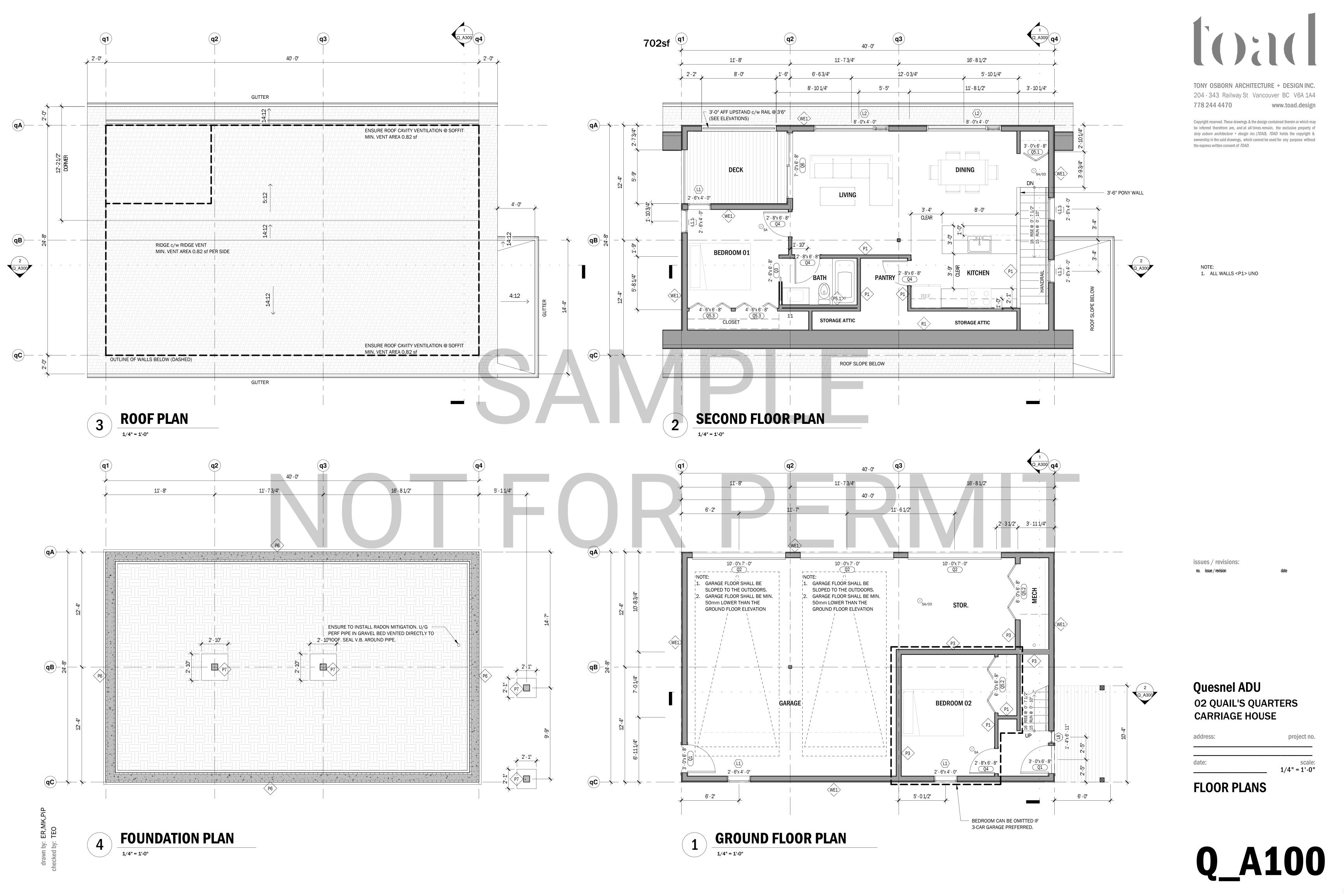
issues / revisions: no. issue / revision 1 Issued for BP

Quesnel ADU 02 QUAIL'S QUARTERS CARRIAGE HOUSE

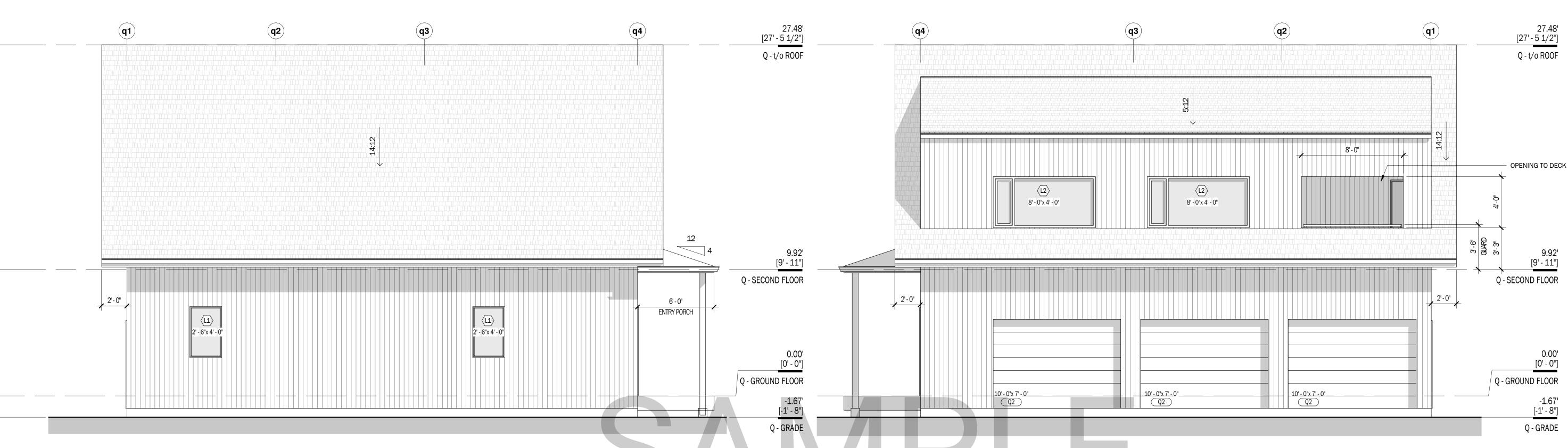
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ASSEMBLIES

S1







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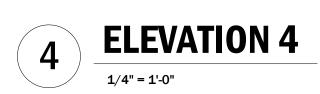
ELEVATION 2

2

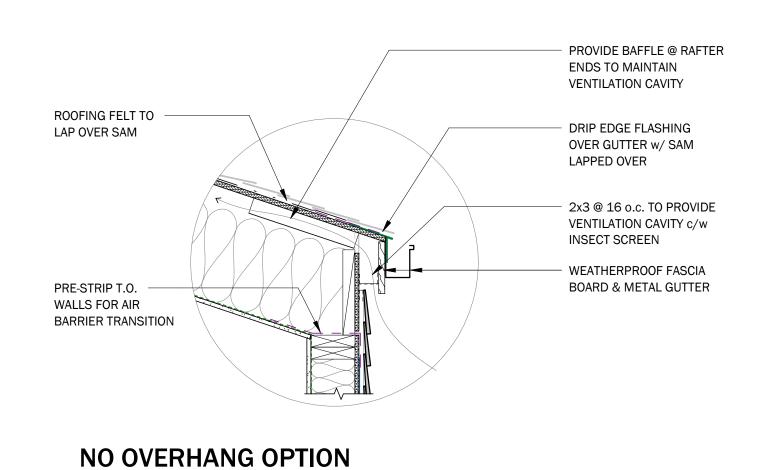
Quesnel ADU
02 QUAIL'S QUARTERS
CARRIAGE HOUSE

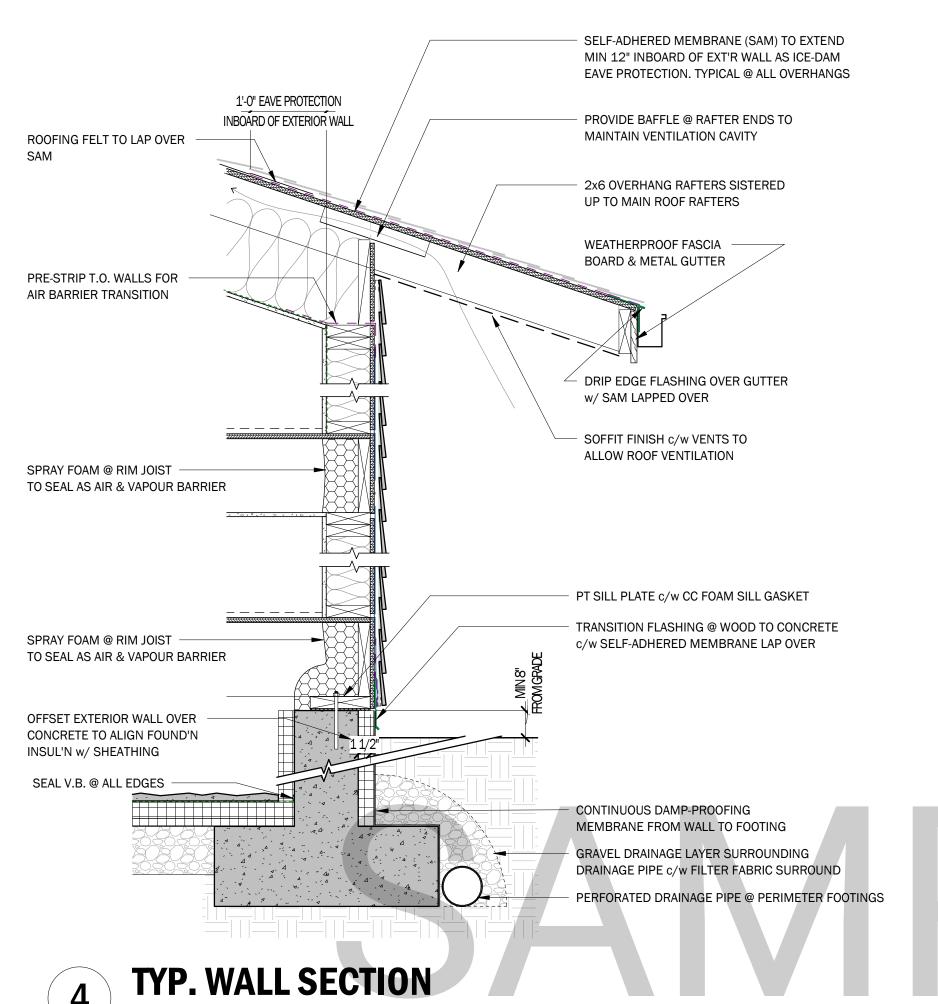
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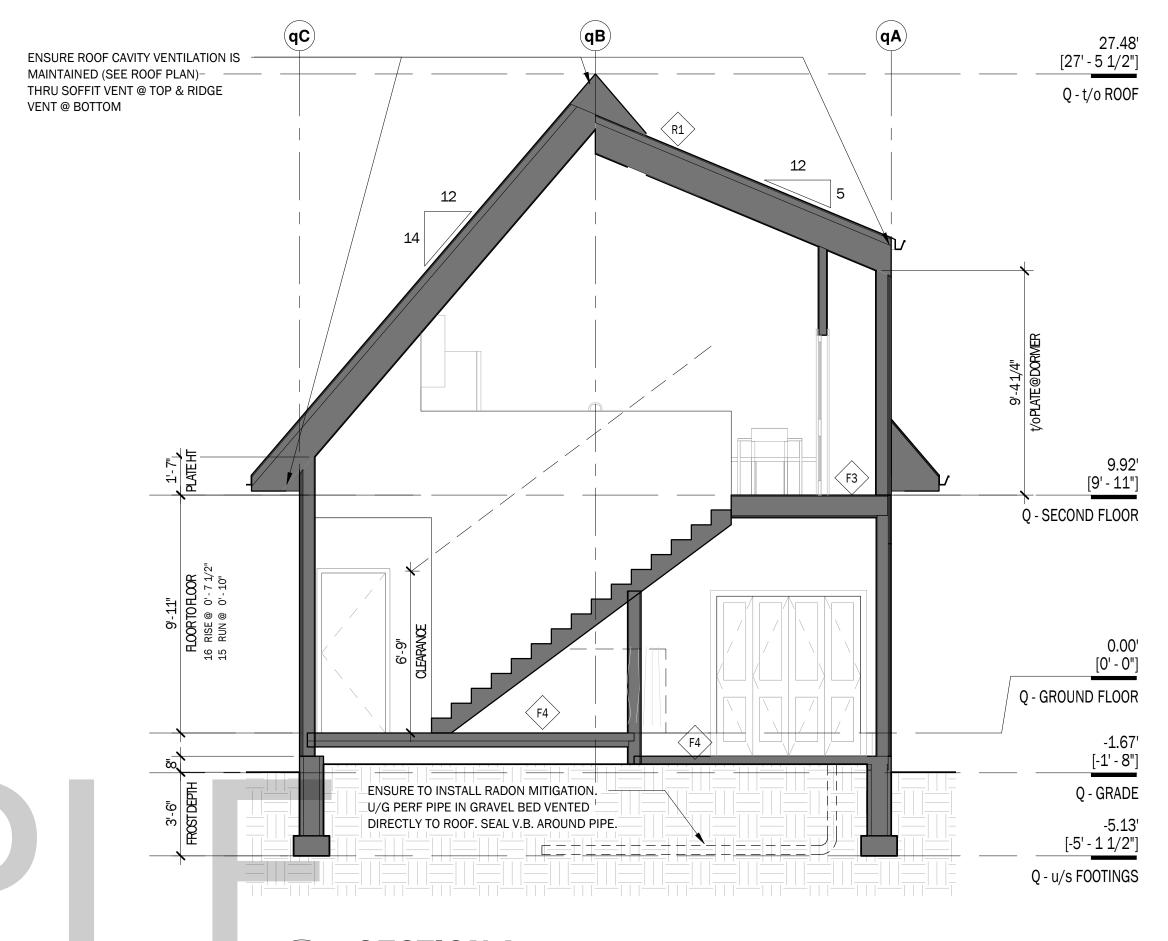
BUILDING ELEVATIONS



ELEVATION 1



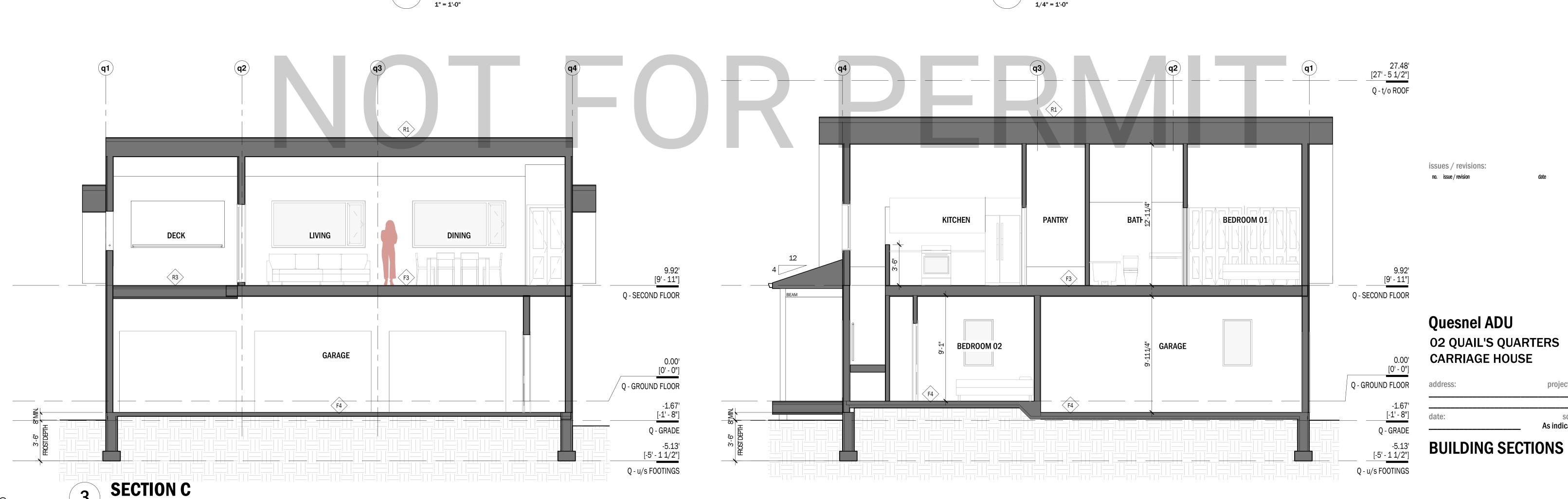






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SECTION B

project no.

As indicated