

# Quesnel ADU - 02 Quail's Quarters

ISSUED FOR BP

DATE

ADDRESS



## SCOPE OF WORK

936sf CARRIAGE HOME OVER 710sf GARAGE ACCESSORY TO PRINCIPAL DWELLING.  
2 BEDROOM, 1 BATH & A COVERED DECK UPSTAIRS WITH OPTION TO OPT OUT OF  
2nd BEDROOM DOWNSTAIRS FOR A 3rd CAR SPACE IN GARAGE

## ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

PID:

ZONING:

SITE AREA:

## DRAWING LIST

- Q\_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
- Q\_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
- Q\_A002 NOTES & SCHEDULES
- Q\_A003 ASSEMBLIES
- Q\_A100 FLOOR PLANS
- Q\_A200 BUILDING ELEVATIONS
- Q\_A300 BUILDING SECTIONS

## ENERGY SUMMARY

THIS DESIGN MEETS STEP 3 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS:  
(NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

### ASSEMBLIES (PER ASSEMBLIES PAGE)

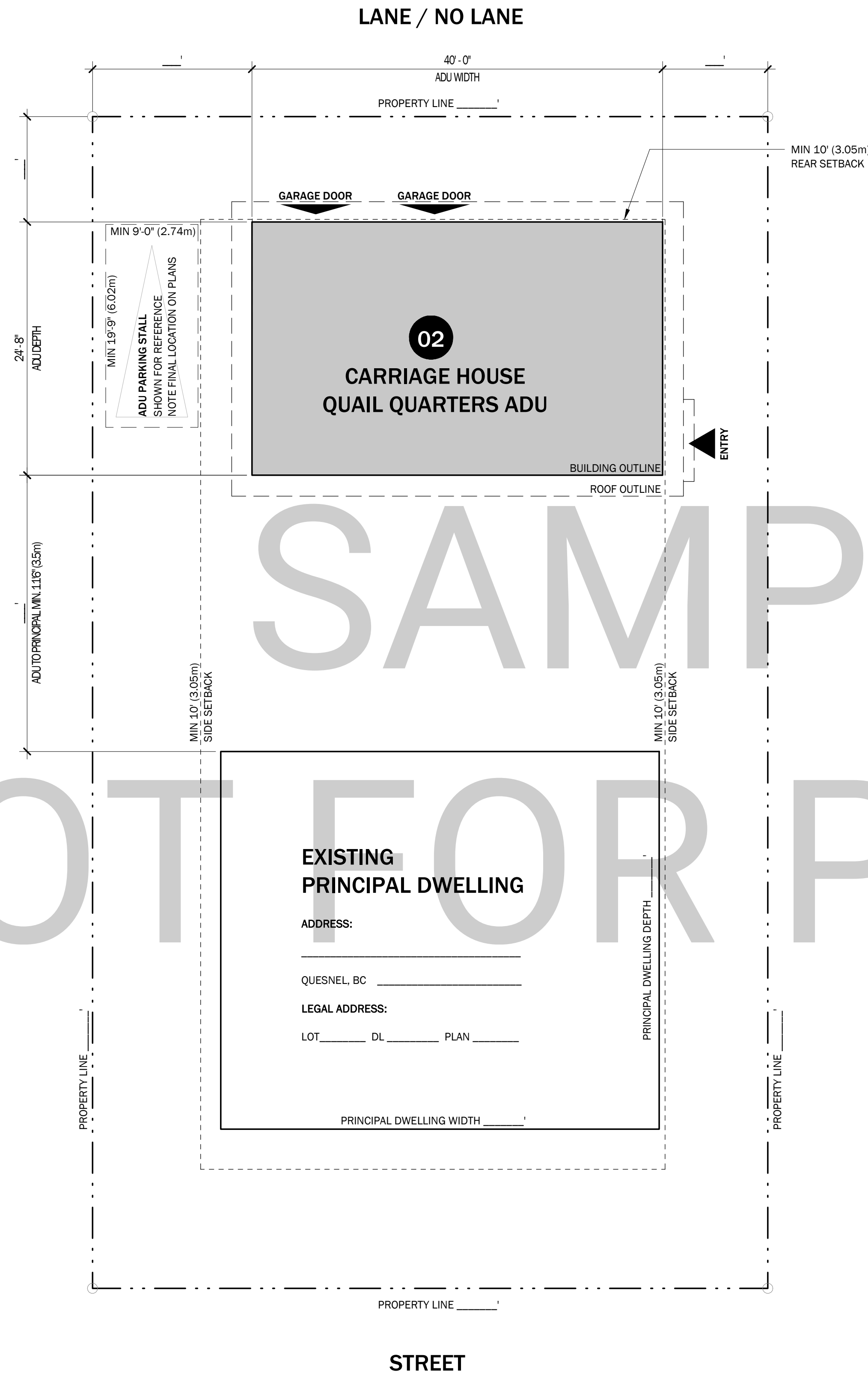
WALLS: R-24 BATT INSUL. IN 2x6 @ 24" o.c.  
ROOF: R-50 BATT INSUL. IN 2x12 @ 24" o.c.  
EXPOSED FLOOR: R-28 BATT INSUL. IN 2x10 @ 16" o.c.  
FOUNDATION WALLS: 8" CONCRETE w/ R-22 ICF BLOCK  
SLAB ON GRADE: R-12 FULL SLAB  
AIR LEAKAGE: 2.5 ACH

### HVAC

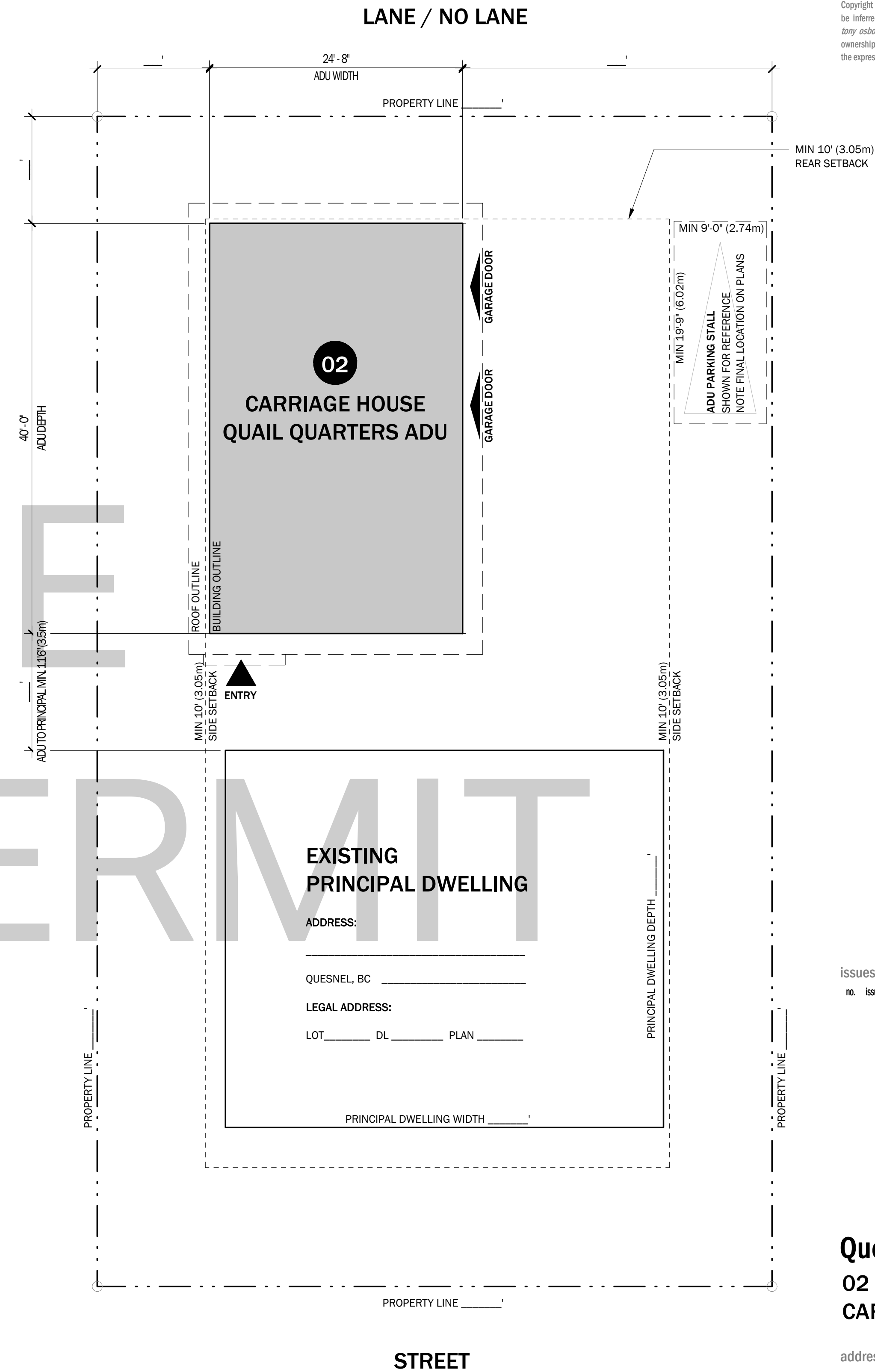
HEATING/COOLING: HEAT PUMP WITH CONDENSING GAS BACKUP  
HOT WATER: NATURAL GAS CONDENSING TANKLESS  
NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT  
VENTILATION: HRV 21 1/s

### WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)

U 1.5 SHGC 0.3  
VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGU'S



**1 SITE PLAN - OPTION 1**  
1/8" = 1'-0"



**2 SITE PLAN - OPTION 2**  
1/8" = 1'-0"

issues / revisions:  
no. issue / revision date

**Quesnel ADU**  
**02 QUAIL'S QUARTERS**  
**CARRIAGE HOUSE**

address: \_\_\_\_\_ project no. \_\_\_\_\_

date: \_\_\_\_\_ scale: 1/8" = 1'-0"

**COVER SHEET & SITE PLAN OPTIONS 1 & 2**

**Q\_A000**

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

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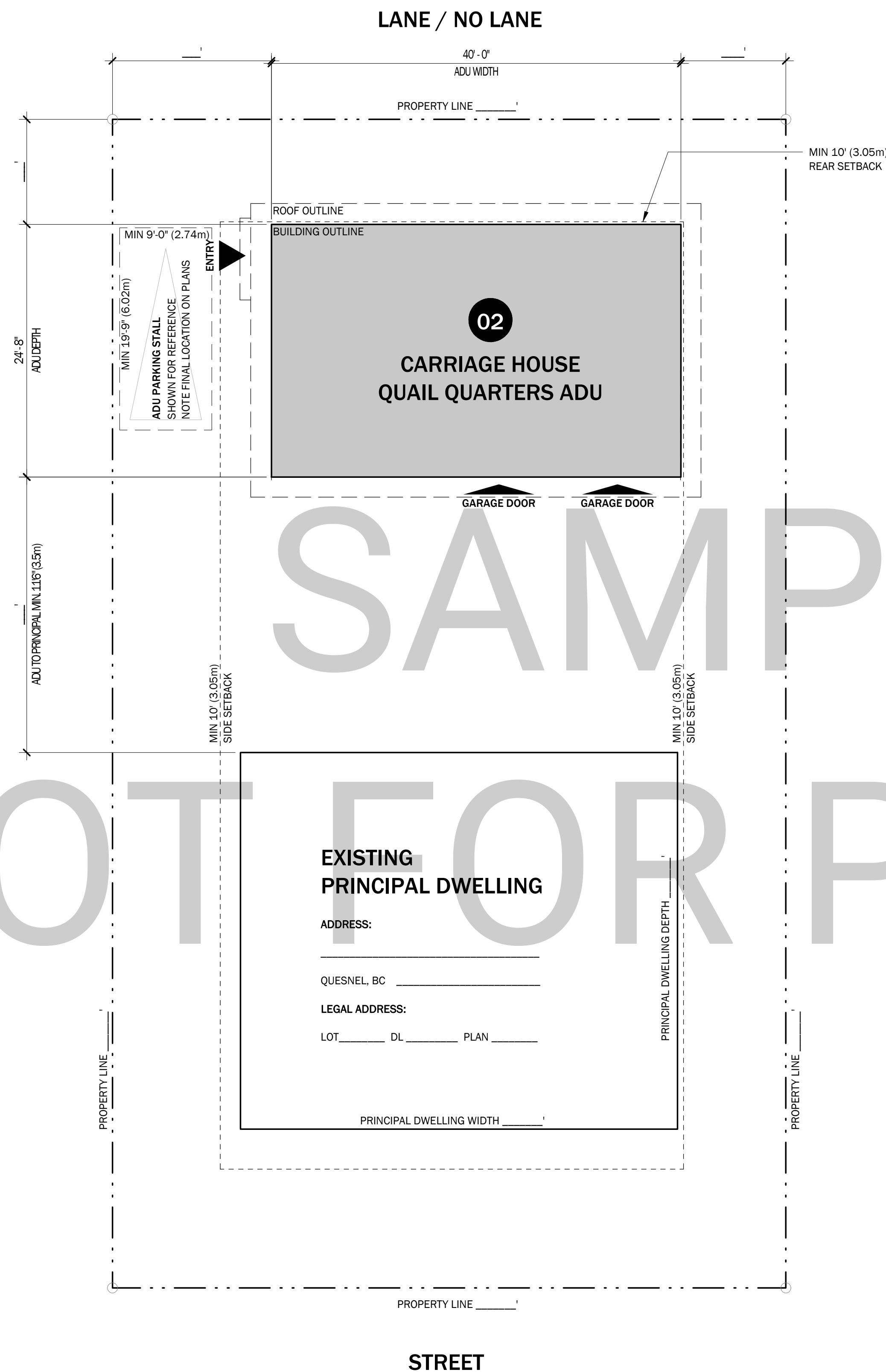
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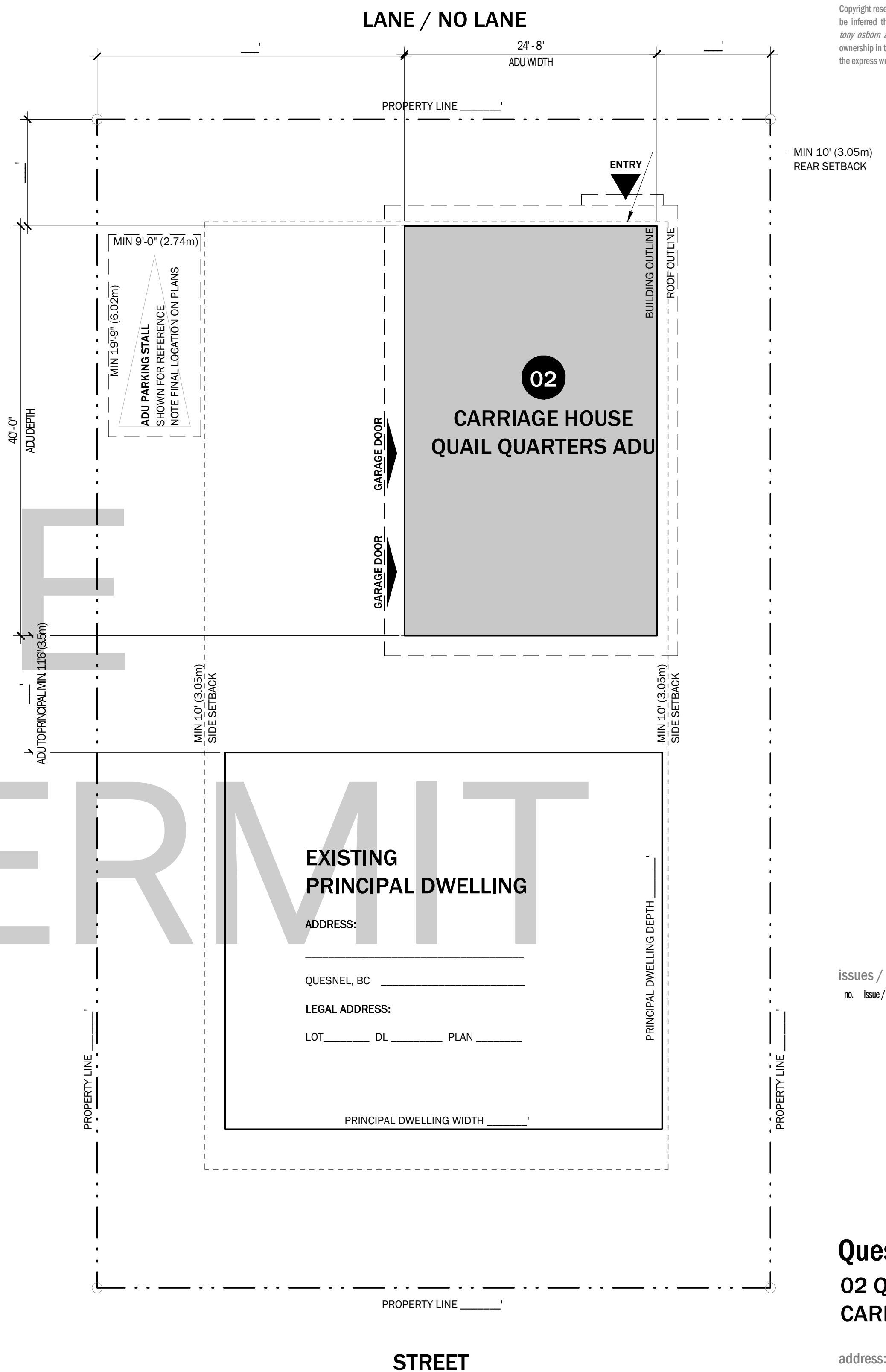
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1/8" = 1'-0"



**2 SITE PLAN - OPTION 4**  
1/8" = 1'-0"

issues / revisions:  
no. issue / revision date

**Quesnel ADU**  
**02 QUAIL'S QUARTERS**  
**CARRIAGE HOUSE**

address: \_\_\_\_\_ project no. \_\_\_\_\_

date: \_\_\_\_\_ scale: 1/8" = 1'-0"

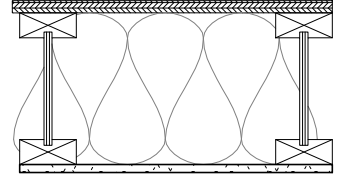
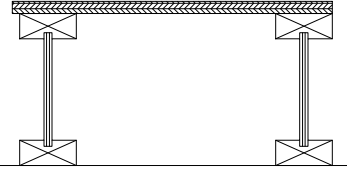
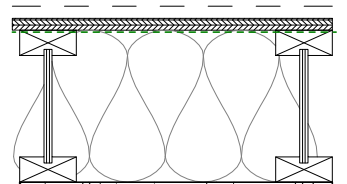
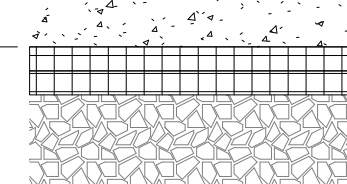
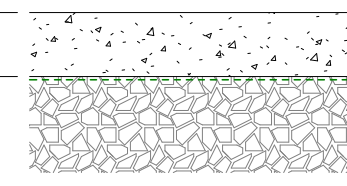
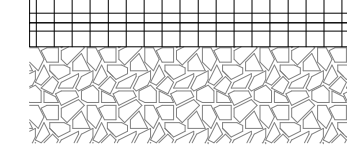
**COVER SHEET & SITE**  
**PLAN OPTIONS 3 & 4**

**Q\_A001**

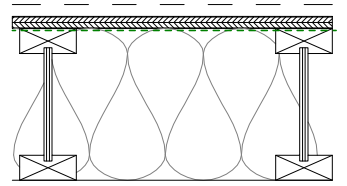
CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS



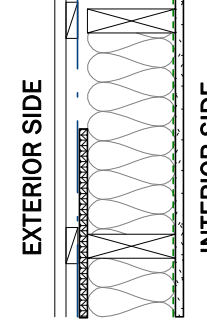
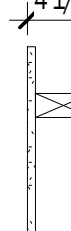

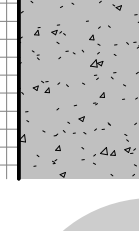

## FLOOR TYPES

FLOOR TYPE	FRR	STC	Remarks
<b>F1</b>  <p><b>TYPICAL FLOOR</b></p> <p>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T &amp; G PLYWOOD DECKING 2x10 OR TJI WOOD JOISTS @ 16" o.c. R-6 BATT INSULATION BETWEEN JOISTS 1/2" GWB</p>	0 h	n/a	
<b>F2</b>  <p><b>FLOOR OVER CRAWL SPACE</b></p> <p>FLOORING FINISH (TBD) 5/8" T &amp; G PLYWOOD DECKING 2x10 OR TJI WOOD JOISTS @ 16" o.c.</p>	0 h	n/a	
<b>F3</b>  <p><b>FLOOR OVER GARAGE</b></p> <p>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T &amp; G PLYWOOD DECKING VAPOUR BARRIER - SEAL ALL PLYWOOD BUTT JOINTS 2x10 OR TJI WOOD JOISTS @ 16" o.c. R-28 BATT INSULATION BETWEEN JOISTS 1/2" GWB</p>	0 h	n/a	
<b>F4</b>  <p><b>TYPICAL INSULATED SLAB ON GRADE</b></p> <p>4" C.I.P CONCRETE SLAB ON GRADE c/w WELDED MESH REINFORCEMENT 10 MIL POLY VAPOUR BARRIER SEALED AT ALL EDGES 3" RIDGID EPS (R-12) INSULATION MIN 6" COMPACTED GRAVEL</p>	0 h	n/a	ENSURE TO PROVIDE RADON MITIGATION
<b>F5</b>  <p><b>SLAB ON GRADE</b></p> <p>4" C.I.P CONCRETE SLAB ON GRADE c/w WELDED MESH REINFORCEMENT 10 MIL POLY VAPOUR BARRIER SEALED AT ALL EDGES MIN 6" COMPACTED GRAVEL</p>	0 h	n/a	ENSURE TO PROVIDE RADON MITIGATION
<b>F6</b>  <p><b>CONCRETE SLURRY - INSULATED @ CRAWL SPACE</b></p> <p>1" CONCRETE 10 MIL POLY VAPOUR BARRIER SEALED @ ALL JOINTS 3" RIDGID EPS (R-12) INSULATION 6" MIN COMPACT GRAVEL</p>	-	-	ENSURE TO PROVIDE RADON MITIGATION MIN. 100mm 15MPa PORTLAND CEMENT CONCRETE (SEE 9.18.6.1)

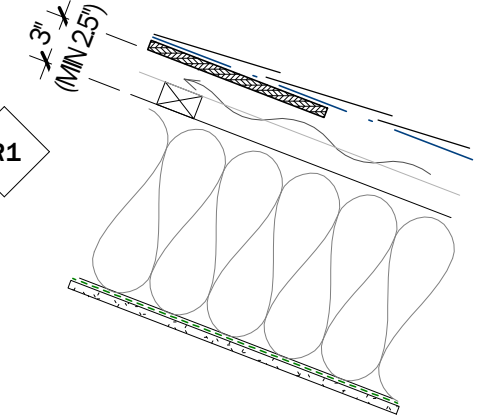
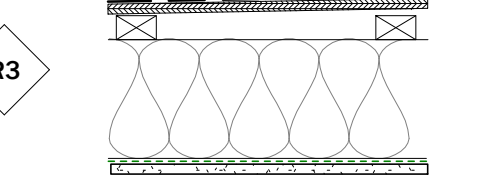
## SOFFIT TYPES

SOFFIT TYPE	FRR	STC	Remarks
<b>S1</b>  <p><b>INSULATED SOFFIT OVER UNINSULATED SPACE</b></p> <p>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT 5/8" T &amp; G PLYWOOD DECKING (BUTT JOINTS TO BE SEALED w/ CLEAR SEALANT) VAPOUR BARRIER PRE-ENG TJI OR 2x10 WOOD JOISTS @ 24" o.c. R-28 BATT INSULATION BETWEEN JOISTS AIR &amp; MOISTURE BARRIER 1/2" CROSS STRAPPING SOFFIT FINISH c/w VENTS</p>	0 h	54 (IIC 48)	FRR & STC REFERENCE: BCBC 2018 Table D-2.3.4.-B & F BCBC 2018 TABLE 9.10.3.1.-B, F9d

## WALL ASSEMBLIES

WALL ASSEMBLY	FRR	STC	Remarks / Reference
<b>WE1</b>  <p><b>EXTERIOR WALL (RATED)</b></p> <p>CLADDING PER ELEVATIONS 1/2" x 2" PT PLYWOOD STRAPPING @ 16" o.c. INSTALLED OVER STUDS AIR &amp; MOISTURE BARRIER [TYVEK RAINSCREEN] - TAPE ALL JOINTS (TRANSITION TO VAPOUR &amp; AIR BARRIER @ ROOF - PRE-STRIP TOP PLATES) PLYWOOD SHEATHING - REFER TO STRUC. 2x6 WOOD STUDS @ 24" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL UV RATED POLY VAPOUR BARRIER 1/2" GWB</p>	0 h	n/a	
<b>P1</b>  <p><b>TYPICAL INTERIOR 2x4 PARTITION WALL</b></p> <p>1/2" GWB 2x4 WOOD STUDS @ 16" o.c. 1/2" GWB</p>	0 h	n/a	GWB AT INTERIOR FACE OF WASHROOMS TO BE: • PAPERLESS GWB, OR • TILE BACKER BOARD AT TILED AREAS  ADD BATT INSULATION AROUND WASHROOMS
<b>P2</b>  <p><b>INTERIOR 2x6 (PLUMBING) PARTITION WALL</b></p> <p>1/2" GWB 2x6 WOOD STUDS @ 16" o.c. 1/2" GWB</p>	0 h	n/a	GWB AT INTERIOR FACE OF WASHROOMS TO BE: • PAPERLESS GWB, OR • TILE BACKER BOARD AT TILED AREAS
<b>P3</b>  <p><b>INTERIOR 2x6 PARTITION WALL - GARAGE SEPERATION</b></p> <p>5/8" TYPE 'X' GWB 2x6 WOOD STUDS @ 16" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL POLY VAPOUR BARRIER SEAL ALL EDGES (ON SUITE SIDE) 5/8" TYPE 'X' GWB</p>	1 h	n/a	BCBC 2018 Appendix D Table D-2.3.4.- A & E
<b>P5</b>  <p><b>FURRING WALL</b></p> <p>1 LAYER OF 1/2" GYPSUM BOARD 2x_ WOOD FRAMING @ 16" o.c. (SEE NOTES)</p>	0 h	n/a	P5.0 2x2 P5.1 2x4 P5.2 2x6
<b>P6</b>  <p><b>FOUNDATION WALL - INSULATED @ PERIMETER</b></p> <p>8" C.I.P. REINFORCED CONCRETE WALLS 1CF 2" RIDGID EPS (R-22) INSUL'N FORMS BOTH SIDES</p>	0 h	n/a	MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 34" x 34" x10" (SUPPORTING 2 FLOORS) POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)
<b>P7</b>  <p><b>FOUNDATION WALL - UNINSULATED</b></p> <p>8" C.I.P. REINFORCED CONCRETE WALLS</p>	0 h	n/a	MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 34" x 34" x10" (SUPPORTING 2 FLOORS) POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)

## ROOF TYPES

ROOF TYPE	FRR	STC	Remarks
<b>R1</b>  <p><b>SLOPED ROOF - VAULTED CEILING (R50)</b></p> <p>STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION 1/2" EXT. GRADE PLYWOOD SHEATHIN 3" (MIN 2.5") AIR GAP 2 LAYERS 2x3 ON FLAT CROSS STRAPPING ENSURE ADEQUATE VENTING @ PERIMETER &amp; RIDGE PRE-ENG TJI RAFTERS OR PARALLEL CHORD TRUSSES R-50 MIN. (14") BATT INSULATION 6 MIL. POLY AIR &amp; VAPOUR BARRIER 1/2" GWB</p>	0 h	n/a	
<b>R3</b>  <p><b>DECK OVER GARAGE</b></p> <p>MIN. 60 MIL. PVC (VINYL) DECK MEMBRANE (BACKING WITH WOVEN POLYESTER SCIRM - DURADEK ULTRA OR PRE-APPROVED EQUAL) 5/8" T&amp;G EXTERIOR GRADE PLYWOOD SHEATHING 2 X 4 CROSS PURLINS INSTALLED PERPENDICULAR TO THE FLOOR JOISTS / TJ'S FOR AIR VENTILATION PER THE REQUIREMENTS OF BCBC 2 X - TAPERED SHIMS INSTALLED OVER &amp; PARALLEL TO FLOOR JOISTS / TJ'S (TO CREATE 1/4" IN 12" SLOPE TOWARDS EDGE / DRAINS) 2 X 10 FLOOR JOISTS OR TJ'S R28 HIGH DENSITY BATT. INSULATION 6 MIL. UV RATED POLY VAPOUR BARRIER 5/8" TYPE 'X' GWB</p>	1 h	n/a	

## GENERAL CONSTRUCTION NOTES

- SITE CONDITIONS:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. REPORT ALL SITE DISCREPANCIES IN WRITING TO DRAWING CONSULTANT.
- DIMENSIONS:** ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONFORMANCE:** WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BC BUILDING CODE 2018 AND ALL PROVINCIAL CODES & MUNICIPAL BYLAWS.
- CONSTRUCTION SAFETY:** THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
- INSURANCES:** THE CONTRACTOR SHALL MAINTAIN AT HIS COST ALL NECESSARY INSURANCES INCLUDING THOSE ASKED FOR BY THE PROPRIETOR. THE PROPRIETOR SHALL INFORM HIS FIRE INSURANCE CO. OF WORK TO BE DONE.
- SITE PREPARATION:** INSTALL TEMPORARY DUSTPROOF PARTITIONS & ACCESS AROUND THE WORK AREA.
- DEMOLITION:** CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS. SUPPLY TEMPORARY SUPPORTS WHERE REQUIRED AS PER CODES & NORMS. REPAIR ADJACENT SURFACES.
- MATERIALS:** ONLY NEW MATERIALS SHALL BE USED. ALL MATERIALS SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- SCHEDULING:** IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE TO DRAWING CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WINDOWS AND DOORS:** ARE NOTED AS NOMINAL SIZES, ROUGH OPENINGS TO BE CONFIRMED WITH MANUFACTURER REQUIREMENTS.
- SHOP DRAWINGS:** FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS
- BACKING:** PROVIDE BACKING IN STUD SPACE TO MECHANICALLY FASTEN GRAB BARS, HANDRAILS, GUARDRAILS, WALL-MOUNT ACCESSORIES, SHELVING & DISPLAY SYSTEMS TO SEISMIC AND STRUCTURAL REQUIREMENTS.
- ELECTRICAL SERVICE:** ELECTRICAL INFORMATION ON DRAWINGS IS FOR LAYOUT PURPOSES ONLY. ELECTRICAL CONTRACTOR TO ASSESS EXISTING SERVICE AND CONDITION. PROVIDE MODIFICATIONS AND UPGRADES TO SERVICE TO ACCOMMODATE PROPOSED DESIGN AS REQUIRED.
- ELECTRICAL PERMITS:** PROVIDE ELECTRICAL PERMIT FOR ELECTRICAL WORK INDICATED ON DRAWINGS. SUBMIT PERMIT & INSPECTION REPORTS TO ARCHITECT (AND CONSULTANT IF APPLICABLE).
- ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS,** ETC. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS & RECESSED CABINETS OR FIXTURES.
- FIRE SEPARATIONS:** THE DEMISING WALLS ARE TO REMAIN AS EXISTING. IT IS THE OWNER'S RESPONSIBILITY THAT THE FIRE RATING OF THE DEMISING WALLS ARE THE MINIMUM RATING AS REQUIRED BY THE CURRENT BUILDING CODE AND ALL CURRENT PROVINCIAL & MUNICIPAL BYLAWS & CODES.
- FIRE RATING:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND MAINTAIN THE FIRE RATING OF THE STRUCTURAL ELEMENTS REQUIRED BY ALL CURRENT PROVINCIAL CODES & MUNICIPAL BYLAWS.

## INTERIOR WALL GENERAL NOTES

- ALL INTERIOR PARTITIONS ADJACENT TO WATER CLOSETS TO HAVE BATT INSULATION FULL HEIGHT FOR SOUND ATTENUATION.
- LEVEL 4 FINISH ON ALL INTERIOR GWB SURFACES (LEVEL 4 - JOINT COMPOUND ON JOINTS AND SCREW HEADS ONLY, SANDED SMOOTH)
- APPLY MILDEW RESISTANT SEALANT AROUND ALL WET AREAS INCLUDING BUT NOT LIMITED TO THE KITCHEN, BATH AND LAUNDRY TO FORM WATERTIGHT SEALS AROUND ALL FIXTURES, VANITIES, COUNTERTOPS, FAUCETS, DRAINS, ETC.
- ALL ACCESSIBLE AND ADAPTABLE UNITS TO HAVE 1/2" PLYWOOD LET INTO STUDS FROM 24" AFF TO 5'-0" AFF FOR GRAB BAR AND ACCESSORY MOUNTING IN WASHROOM



TONY OSBORN ARCHITECTURE + DESIGN INC.  
204 - 343 Railway St. Vancouver BC V6A 1A4  
778 244 4470 www.load.design

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no.	issue / revision	date
1	Issued for BP	

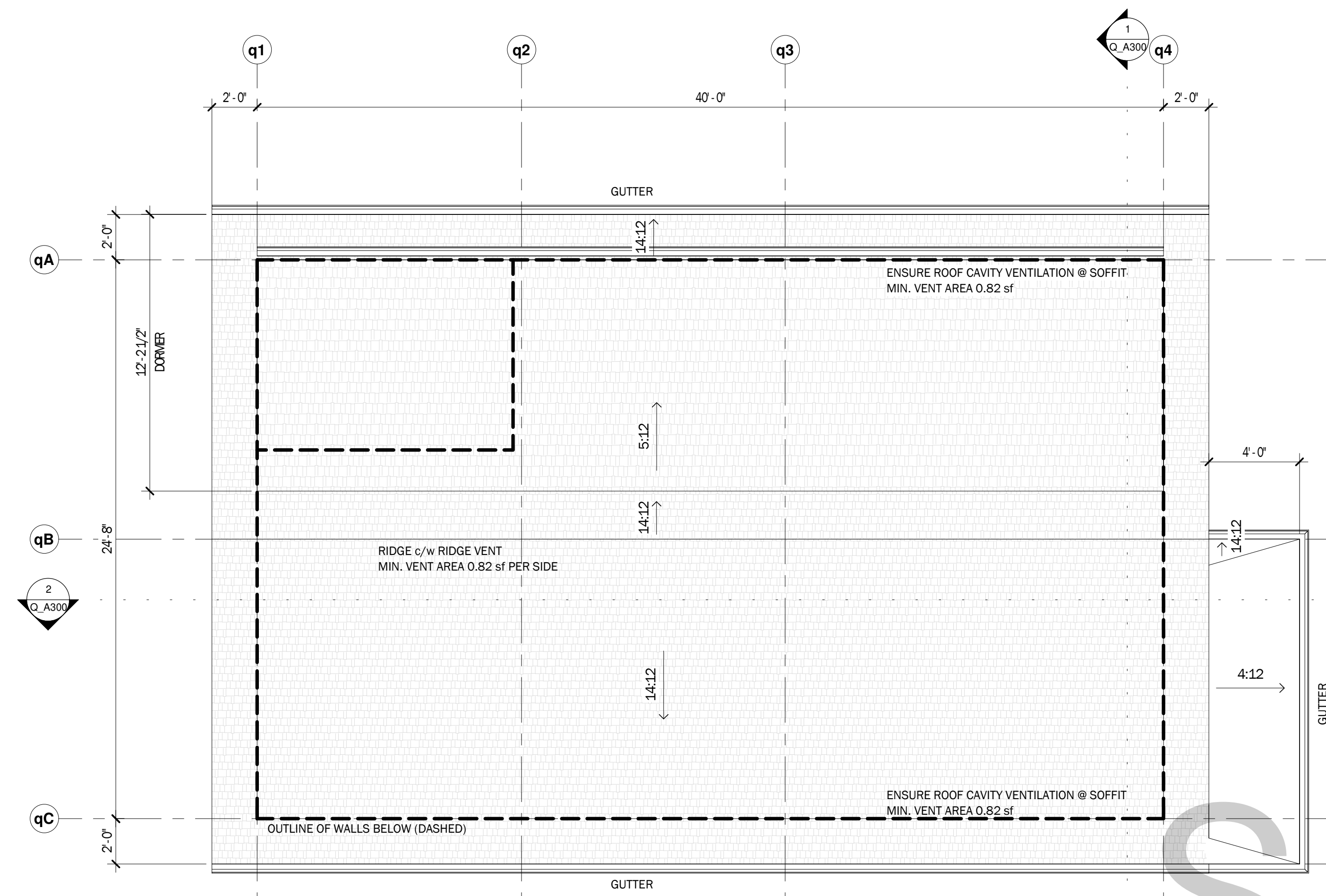
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date: \_\_\_\_\_ scale: 1" = 1'-0"

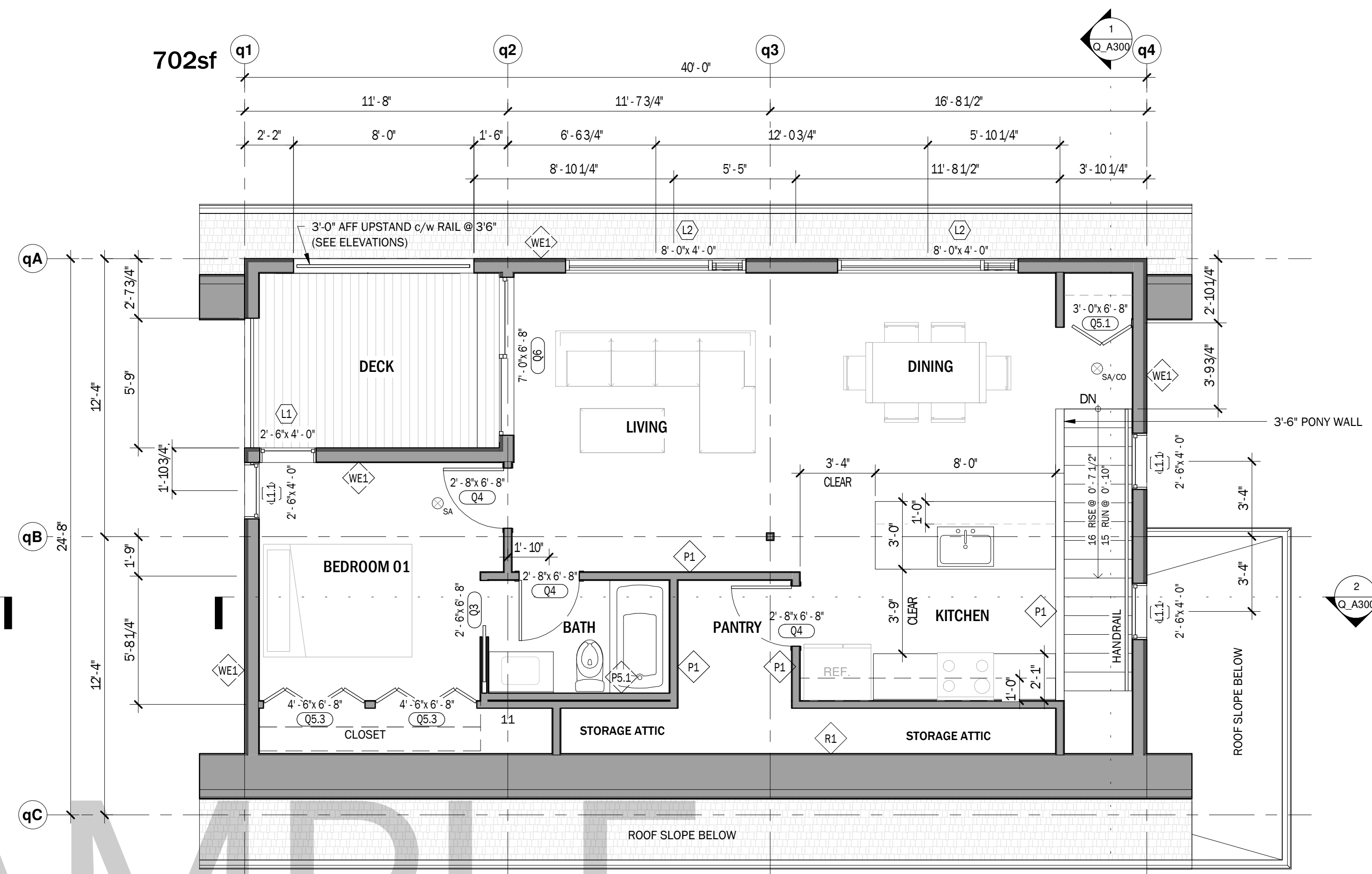
## ASSEMBLIES

# Q\_A003

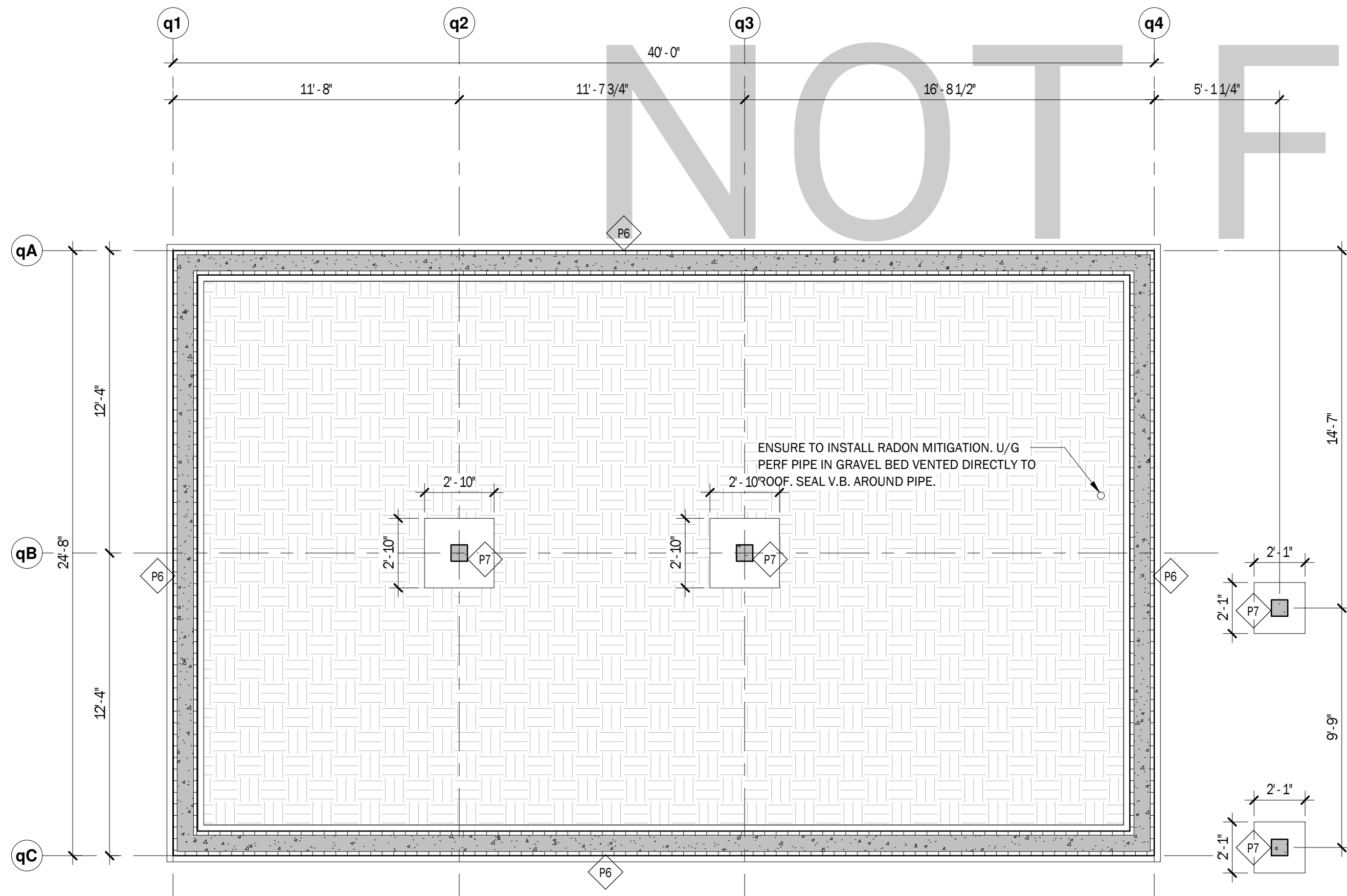
NOTE:  
1. ALL WALLS <P1> UNO



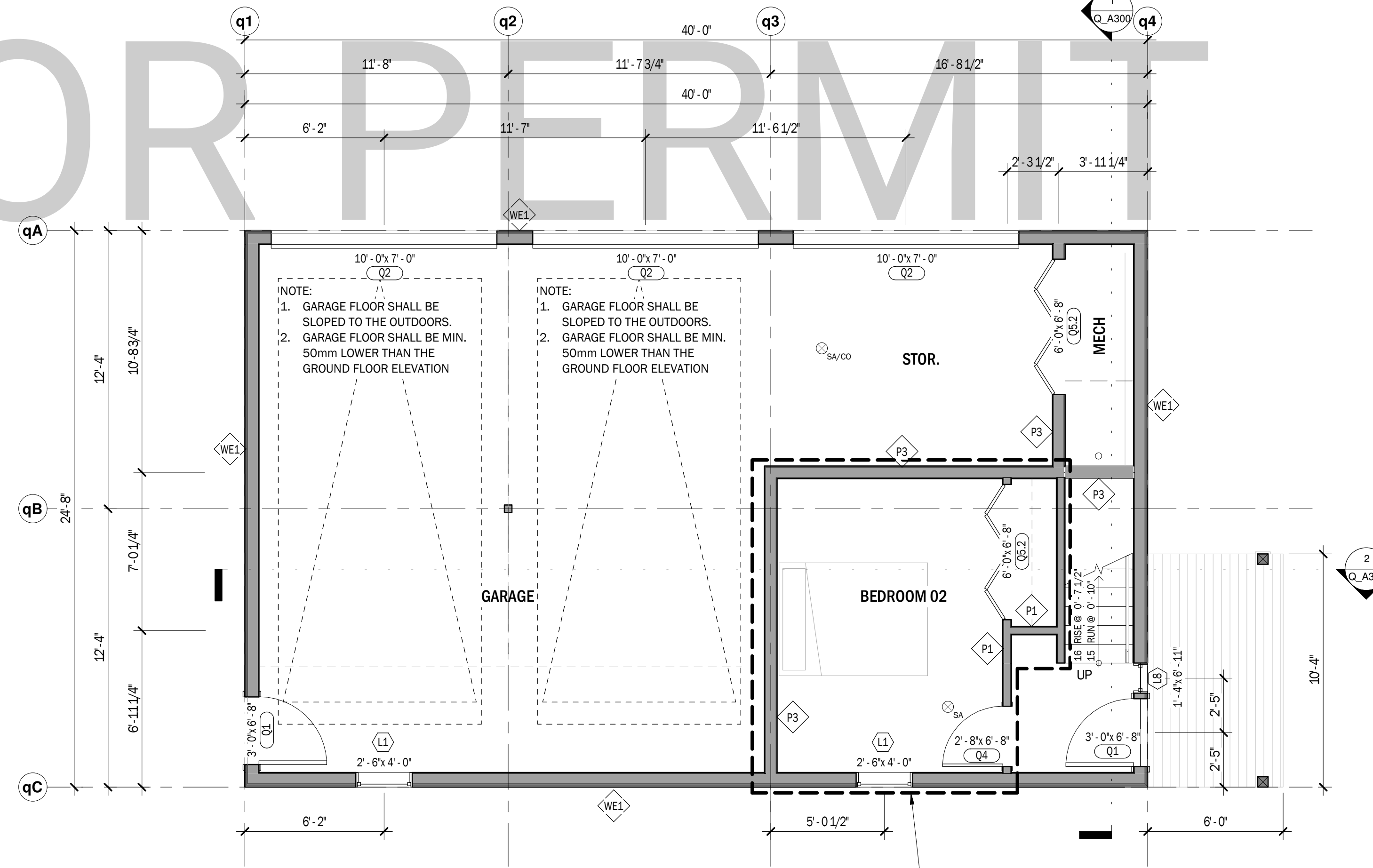
**3 ROOF PLAN**  
1/4" = 1'-0"



**2 SECOND FLOOR PLAN**  
1/4" = 1'-0"



**4 FOUNDATION PLAN**  
1/4" = 1'-0"



**1 GROUND FLOOR PLAN**  
1/4" = 1'-0"

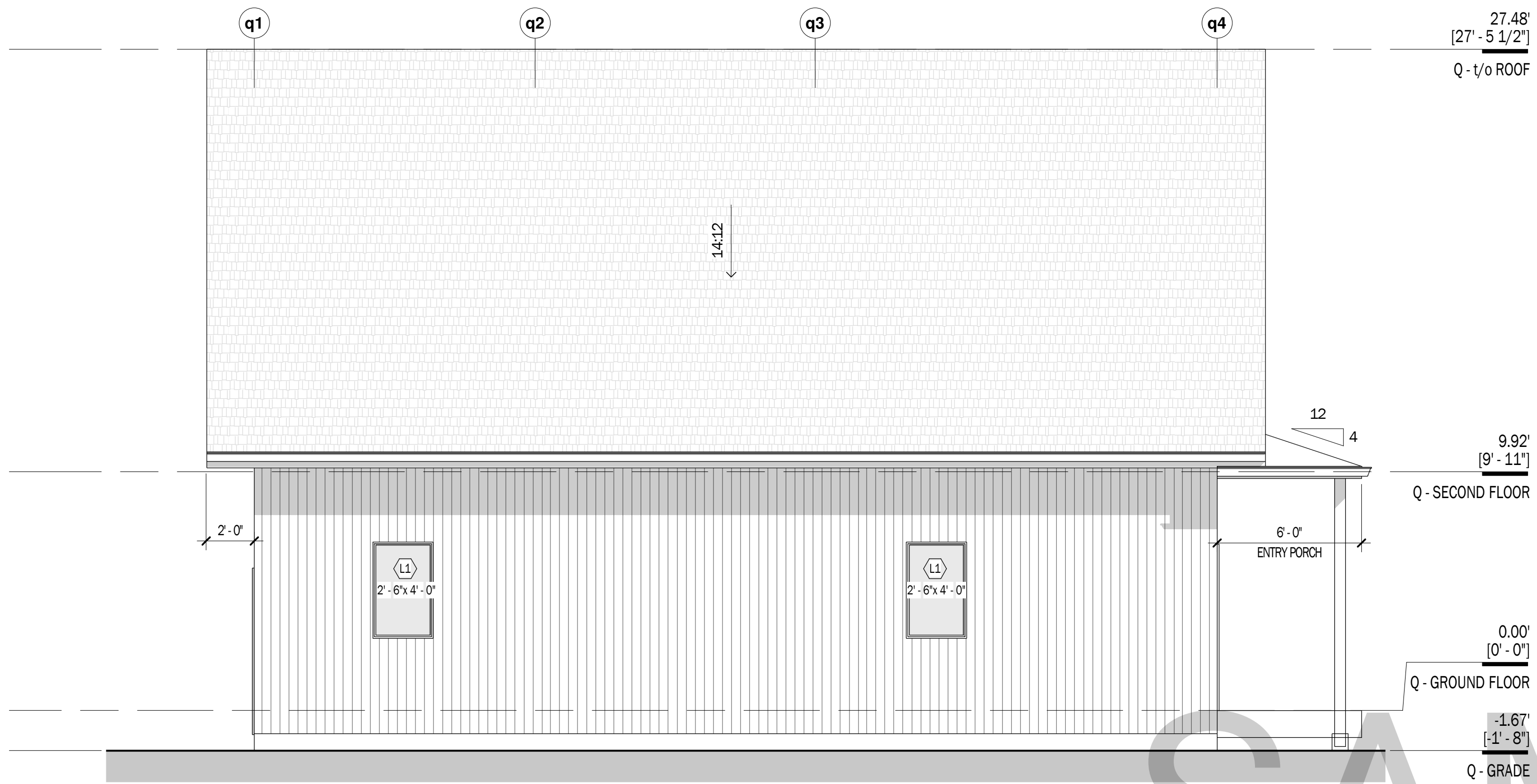
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**02 QUAIL'S QUARTERS**  
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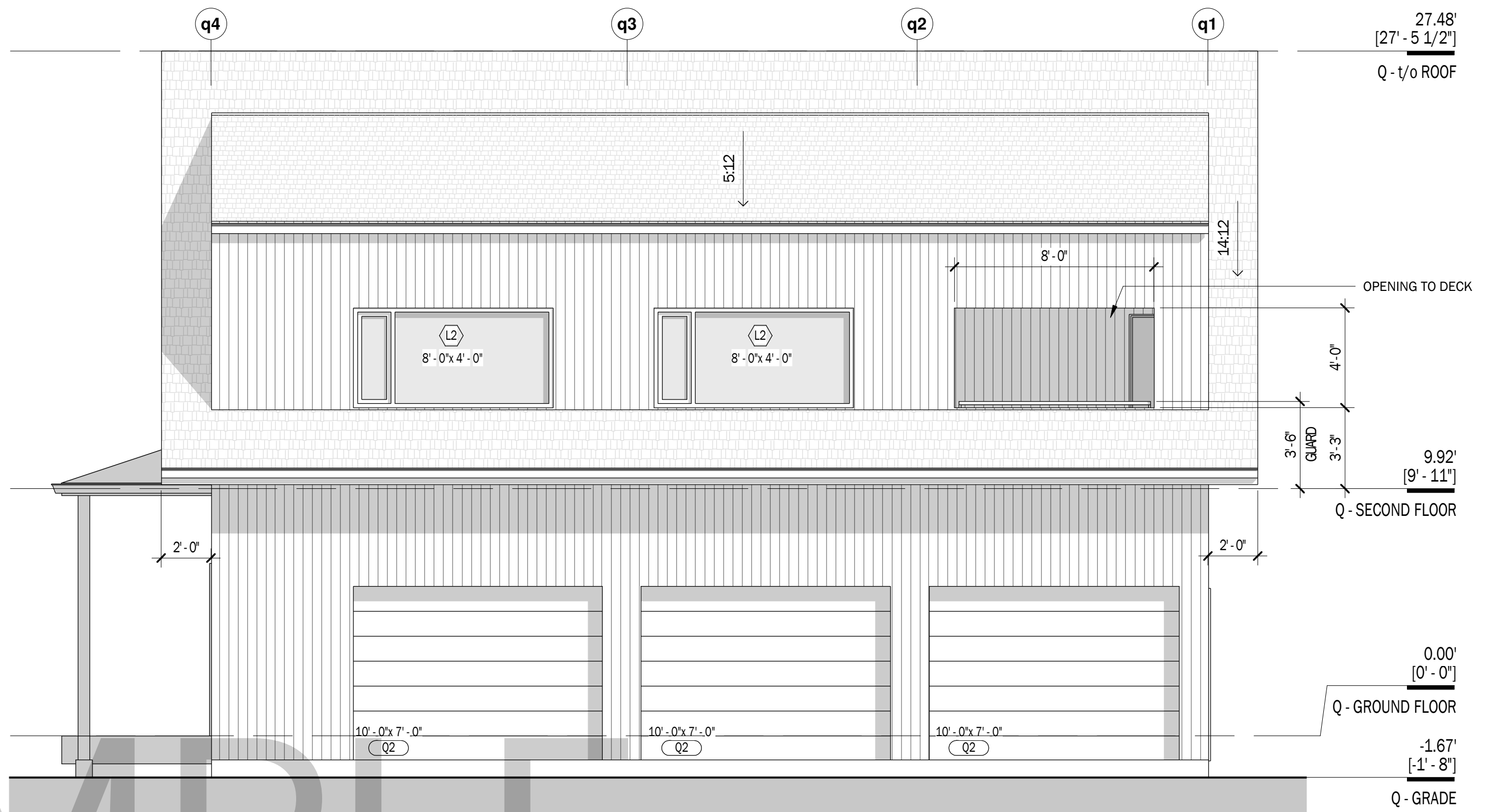
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date: \_\_\_\_\_ scale: 1/4" = 1'-0"

**FLOOR PLANS**

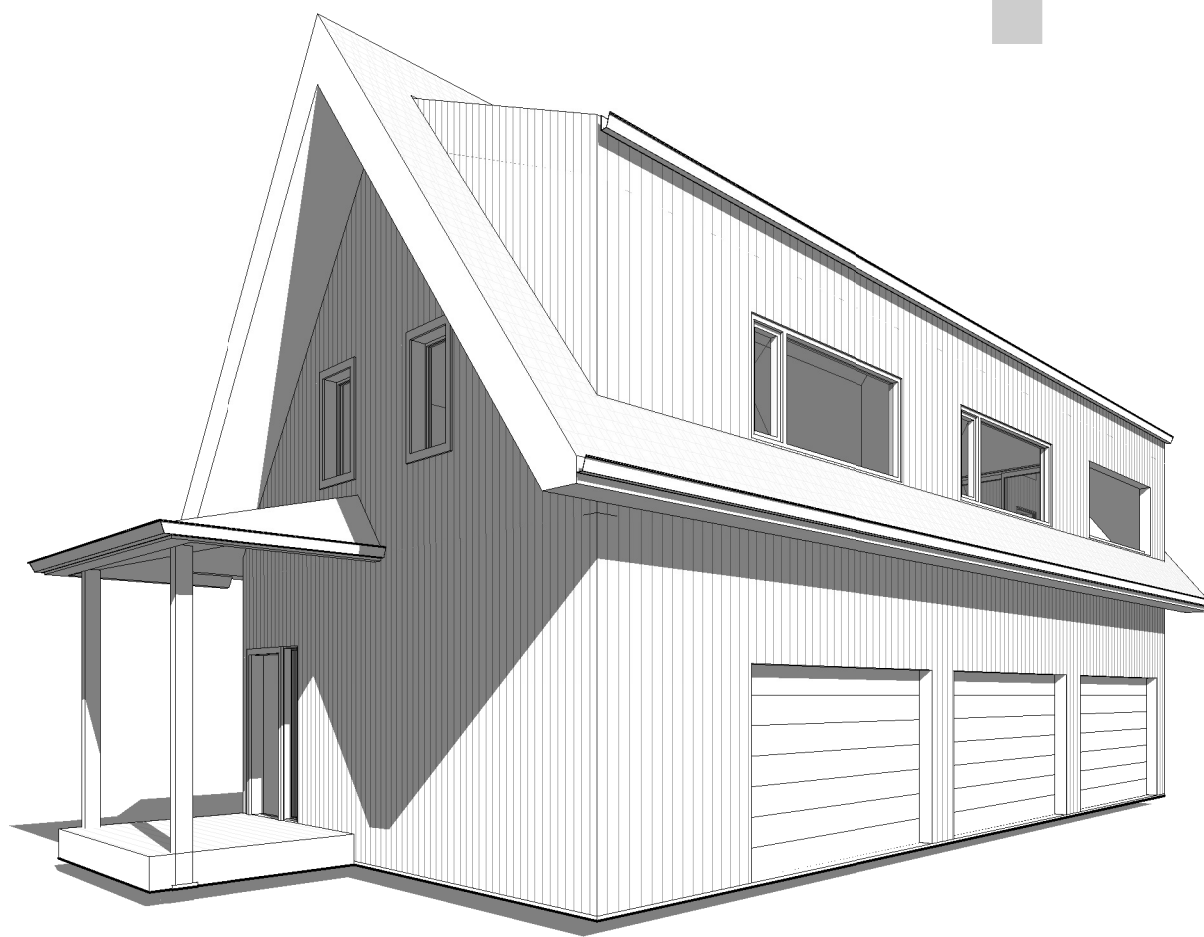


**1 ELEVATION 1**  
1/4" = 1'-0"

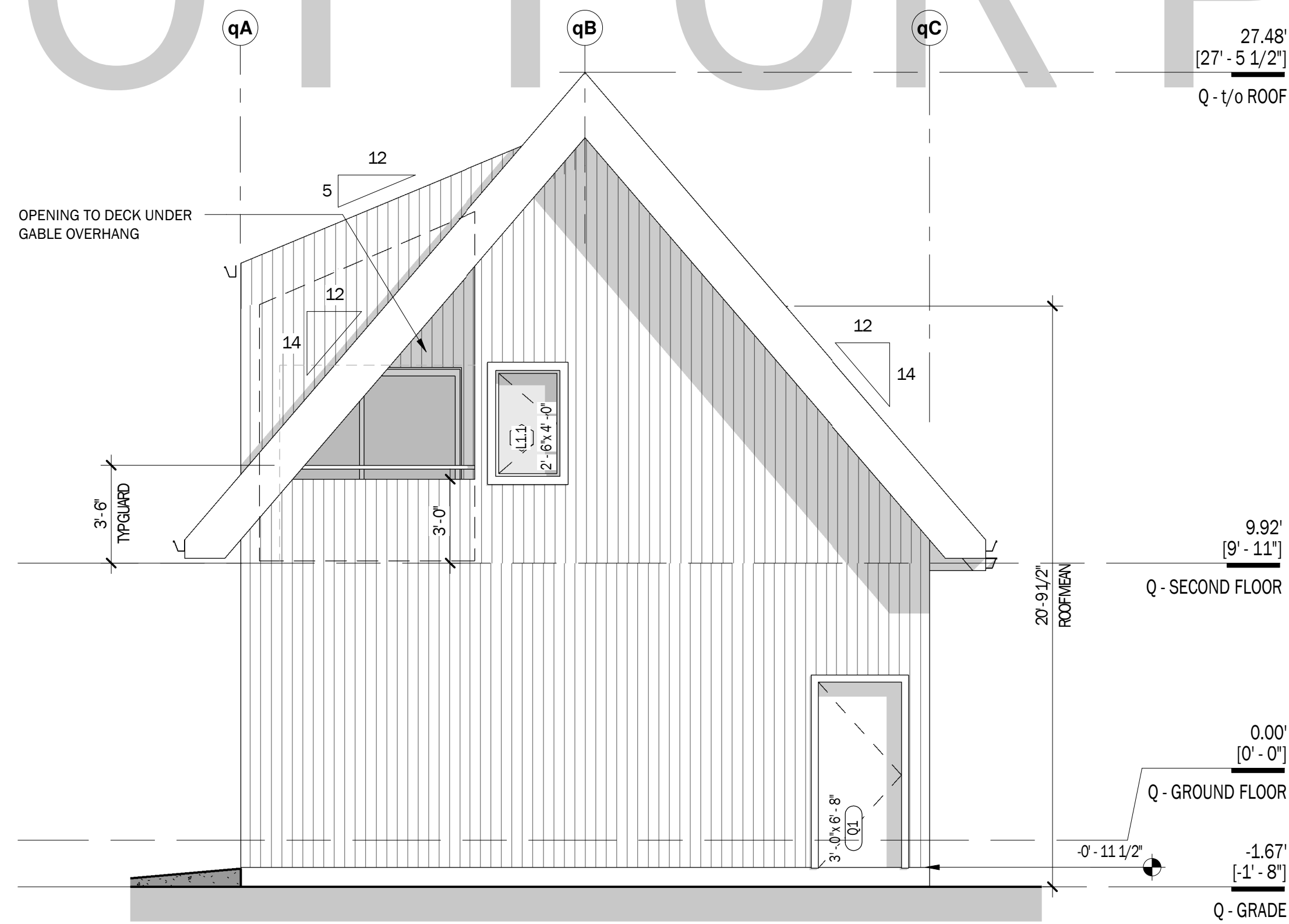


**2 ELEVATION 2**  
1/4" = 1'-0"

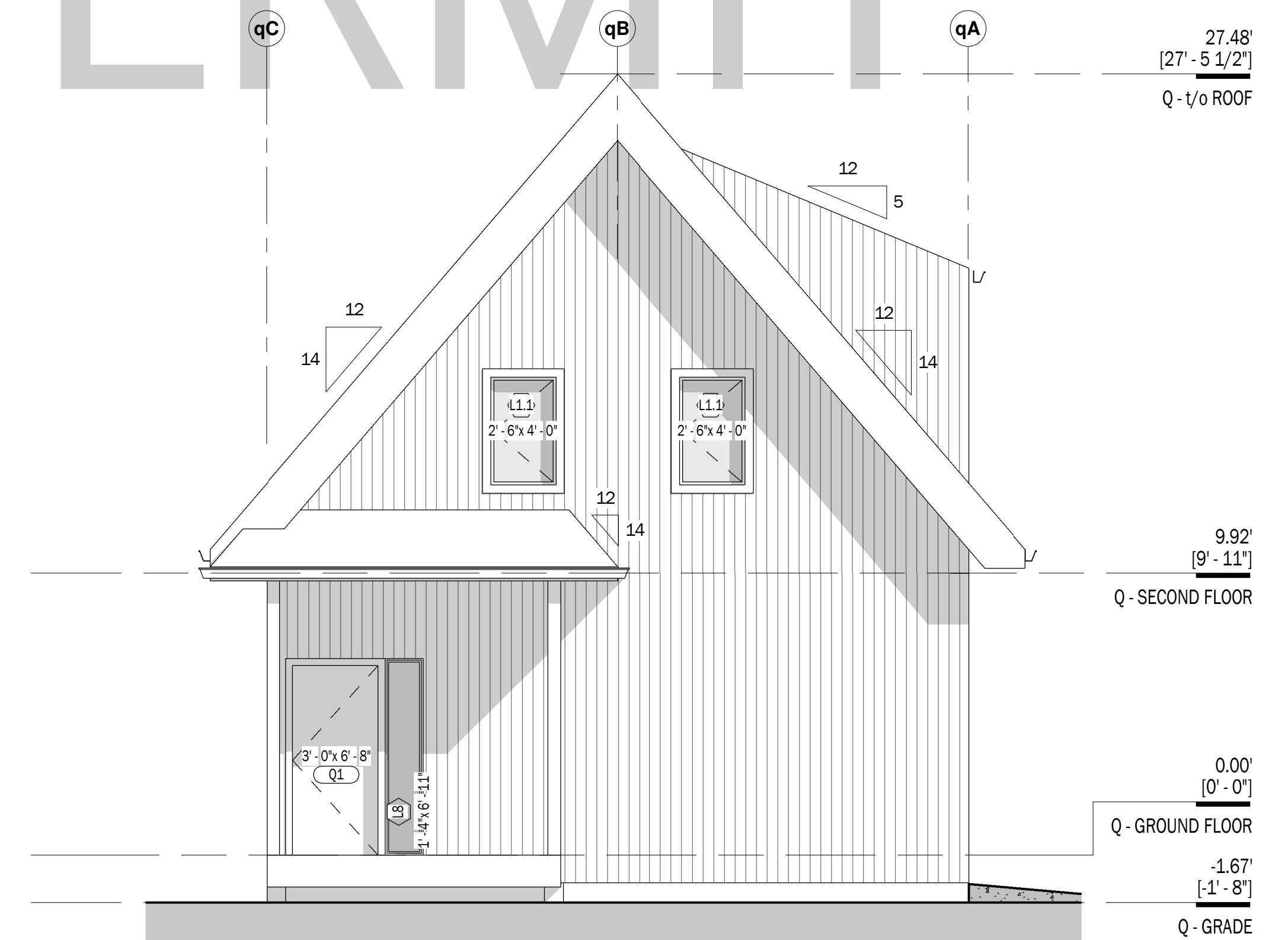
NOT FOR PERMIT



**5 3D VIEW**



**3 ELEVATION 3**  
1/4" = 1'-0"



**4 ELEVATION 4**  
1/4" = 1'-0"

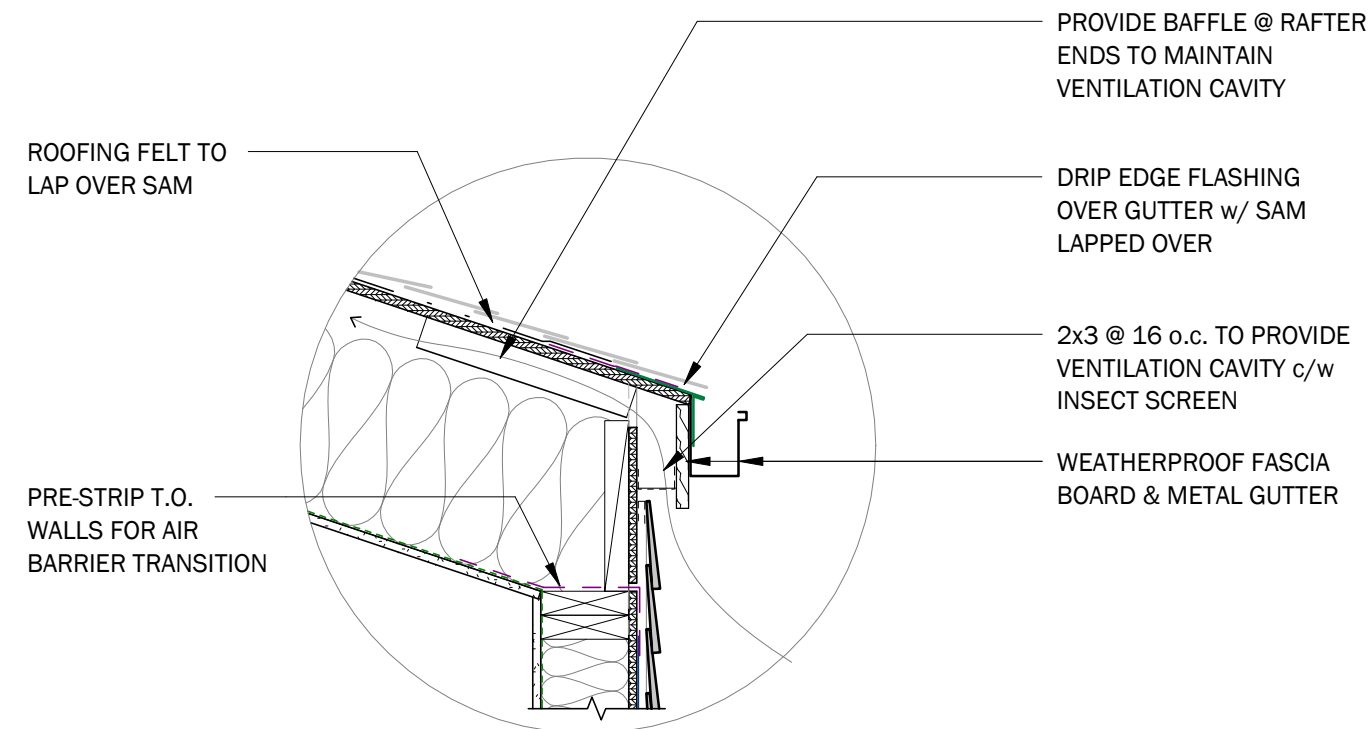
issues / revisions:		
no.	issue / revision	date

**Quesnel ADU**  
**02 QUAIL'S QUARTERS**  
**CARRIAGE HOUSE**

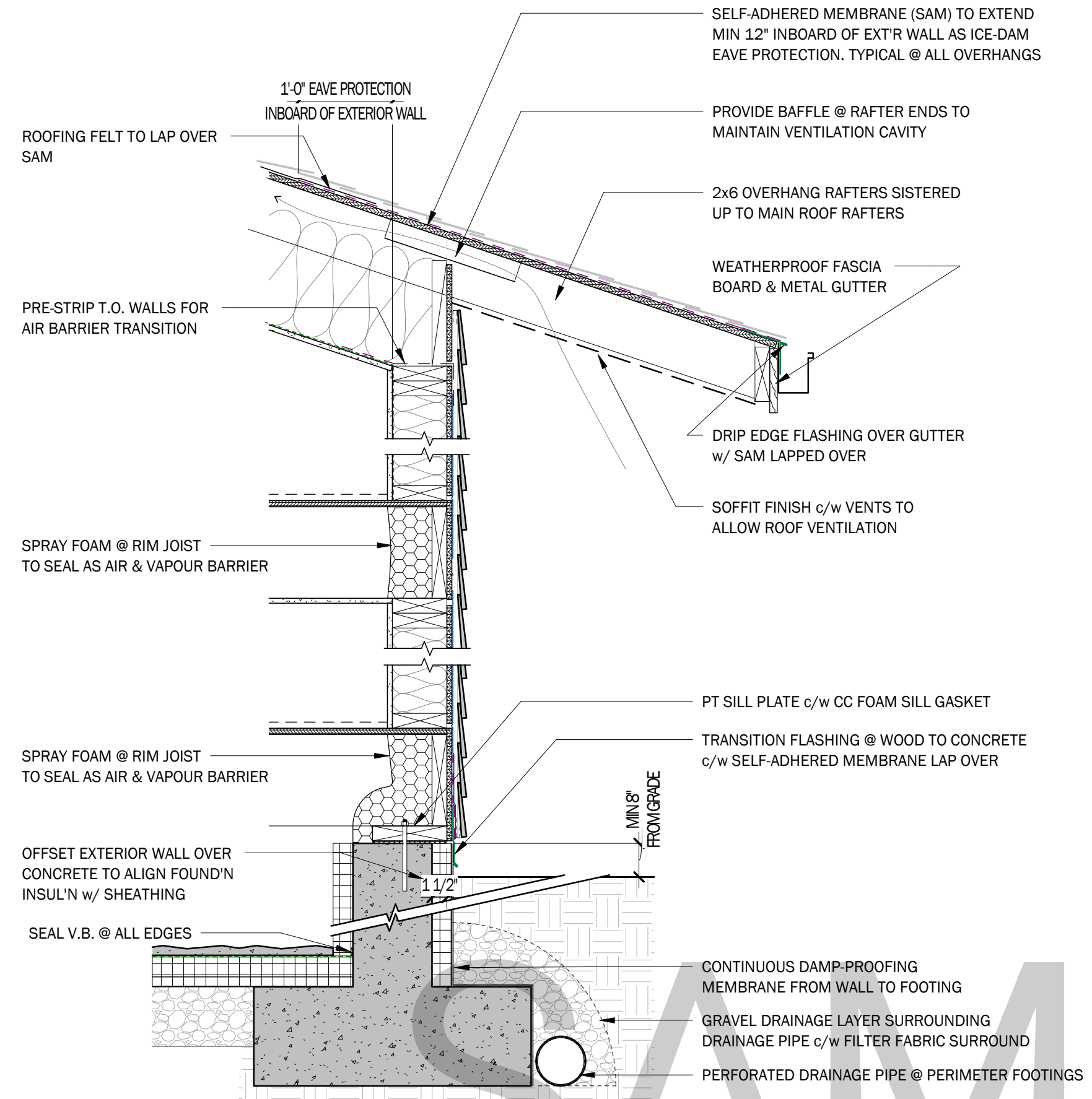
address: \_\_\_\_\_ project no. \_\_\_\_\_  
date: \_\_\_\_\_ scale: 1/4" = 1'-0"

**BUILDING ELEVATIONS**

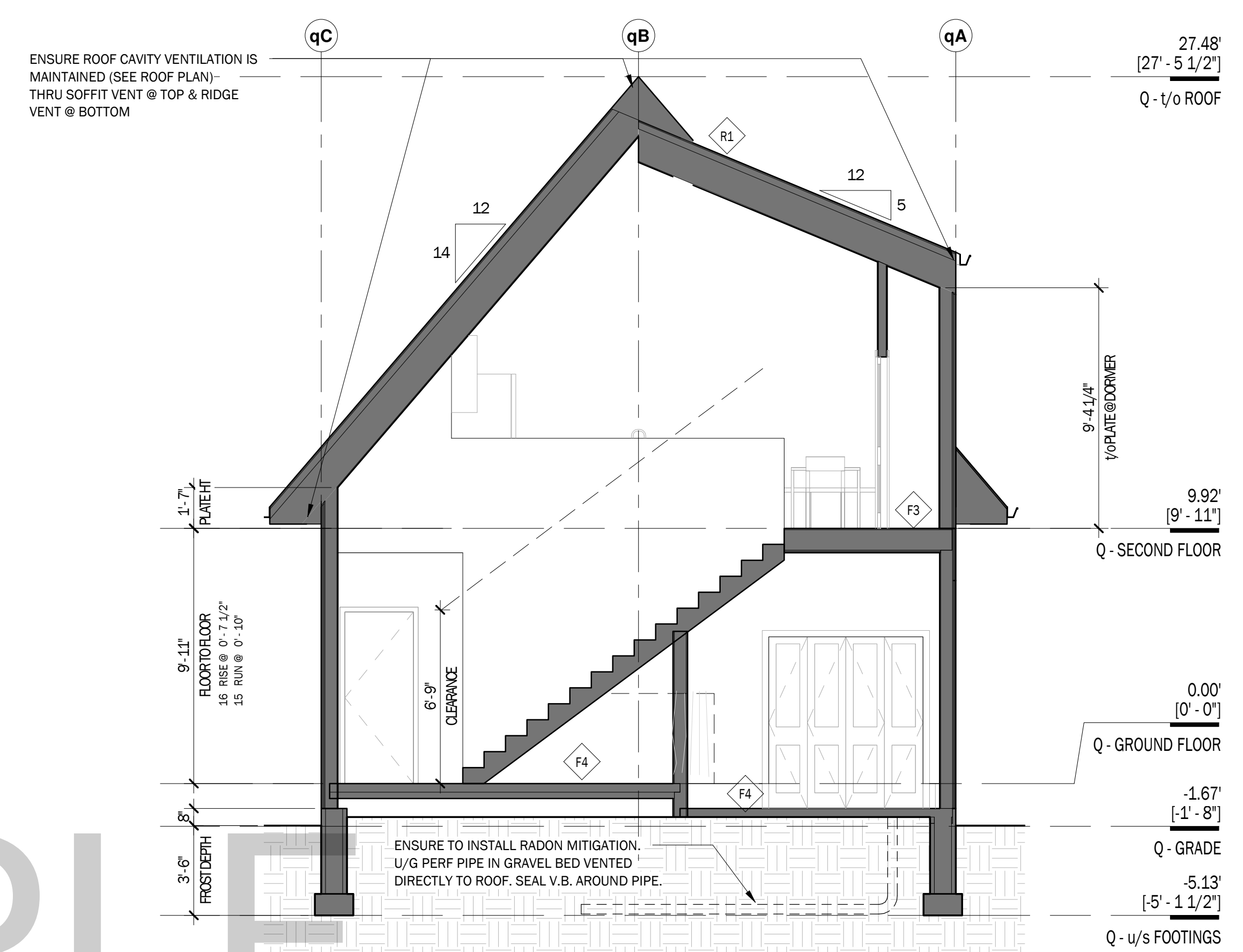
**Q\_A200**



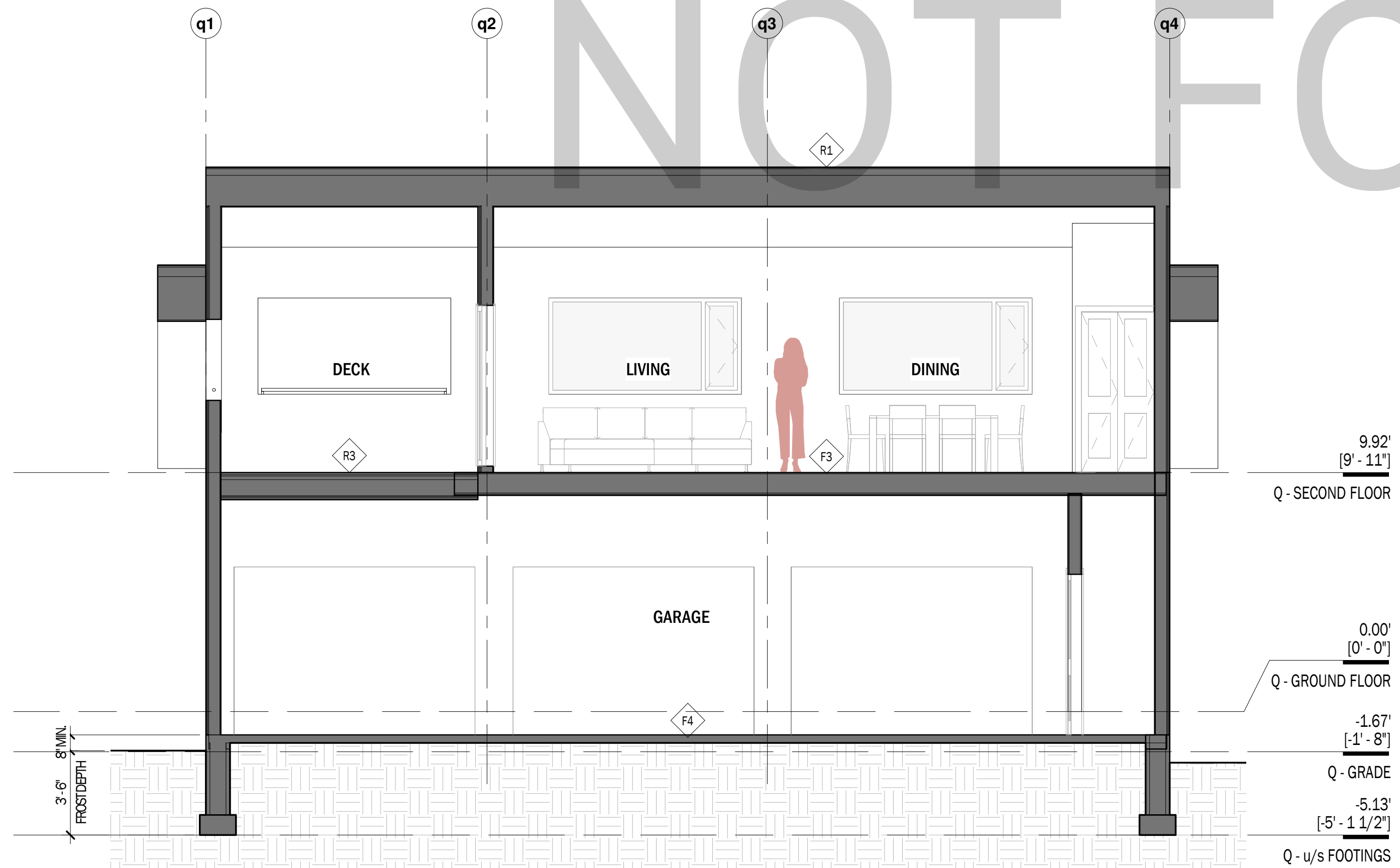
NO OVERHANG OPTION



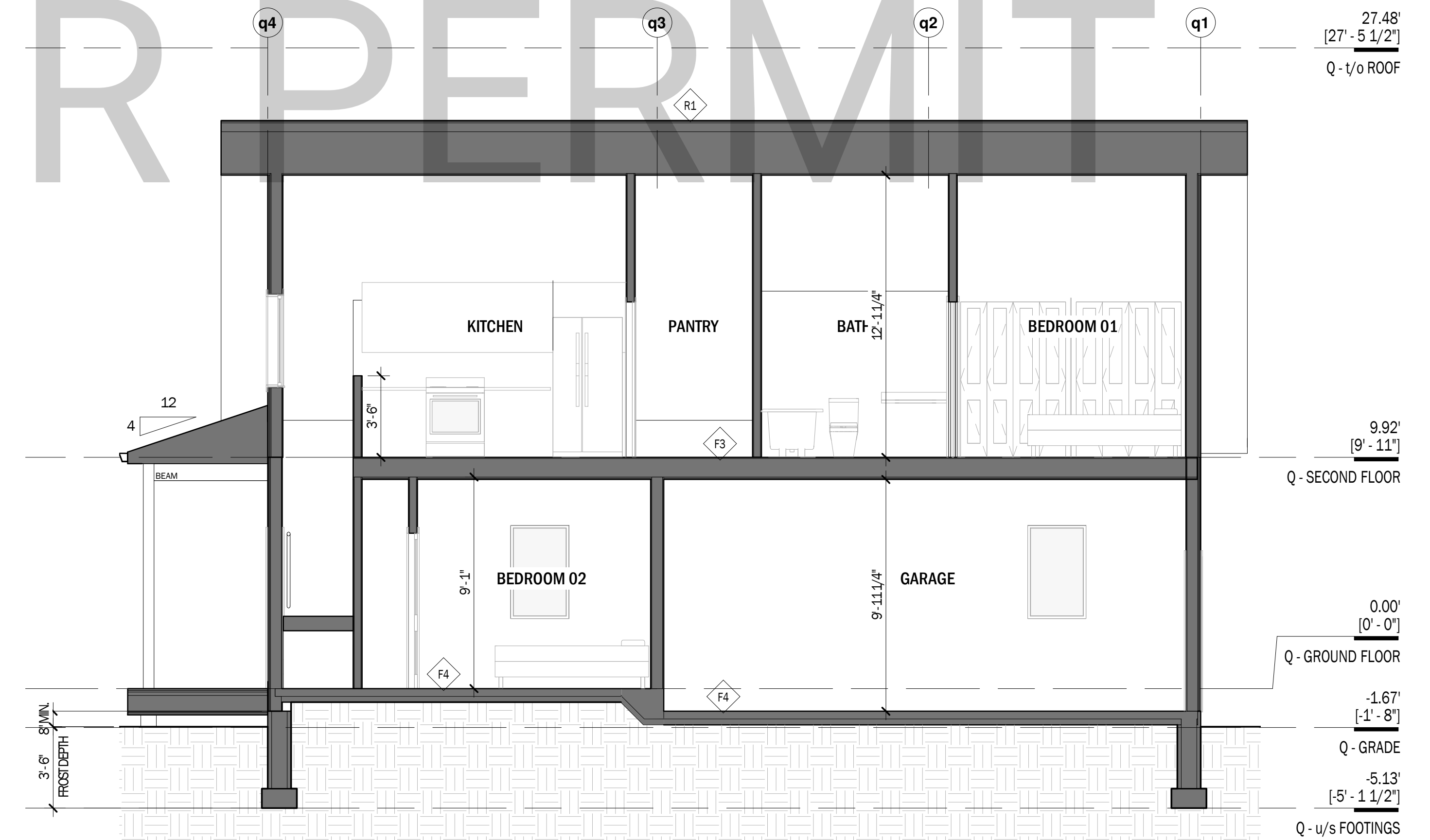
**4 TYP. WALL SECTION**  
1" = 1'-0"



**1 SECTION A**  
1/4" = 1'-0"



**3 SECTION C**  
1/4" = 1'-0"



**2 SECTION B**  
1/4" = 1'-0"

issues / revisions:		
no.	issue / revision	date

## Quesnel ADU 02 QUAIL'S QUARTERS CARRIAGE HOUSE

address: \_\_\_\_\_ project no. \_\_\_\_\_  
date: \_\_\_\_\_ scale: \_\_\_\_\_  
As indicated

### BUILDING SECTIONS

NOT FOR PERMIT

drawn by: ER, MK, PIP  
checked by: TEO