

# Quesnel ADU - 01 Harrier Homestead

Issued for BP

TONY OSBORN ARCHITECTURE + DESIGN INC.  
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## SCOPE OF WORK

970sf CARRIAGE HOME BESIDE & OVER A 340sf SINGLE-CAR GARAGE WITH 2-BEDROOMS 1.5 BATHROOMS ACCESSORY TO PRINCIPAL DWELLING

## ZONING AND BYLAW INFORMATION

CIVIC ADDRESS:

LEGAL DESCRIPTION:

PID:

ZONING:

SITE AREA:

## DRAWING LIST

- H\_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
- H\_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
- H\_A002 NOTES & SCHEDULES
- H\_A003 ASSEMBLIES
- H\_A100 FLOOR PLANS
- H\_A200 BUILDING ELEVATIONS
- H\_A300 BUILDING SECTIONS

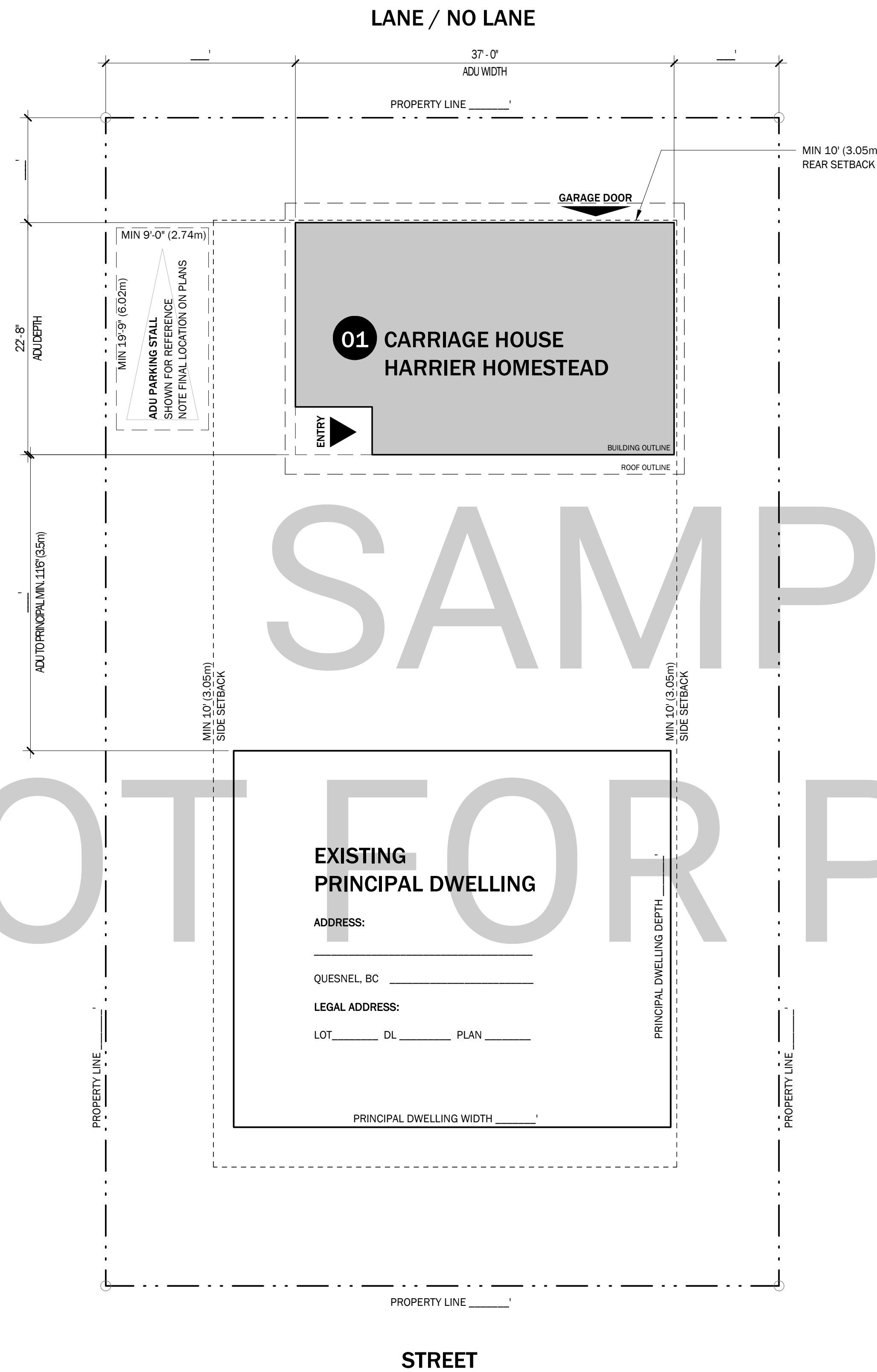
## ENERGY SUMMARY

THIS DESIGN MEETS STEP 3 OF THE BC ENERGY STEP CODE IN ANY ORIENTATION WITH THE FOLLOWING REQUIREMENTS: (NOTE ANY IMPROVEMENT IN ENERGY EFFICIENCY OF THE BELOW WILL FURTHER INCREASE THE BUILDING'S PERFORMANCE)

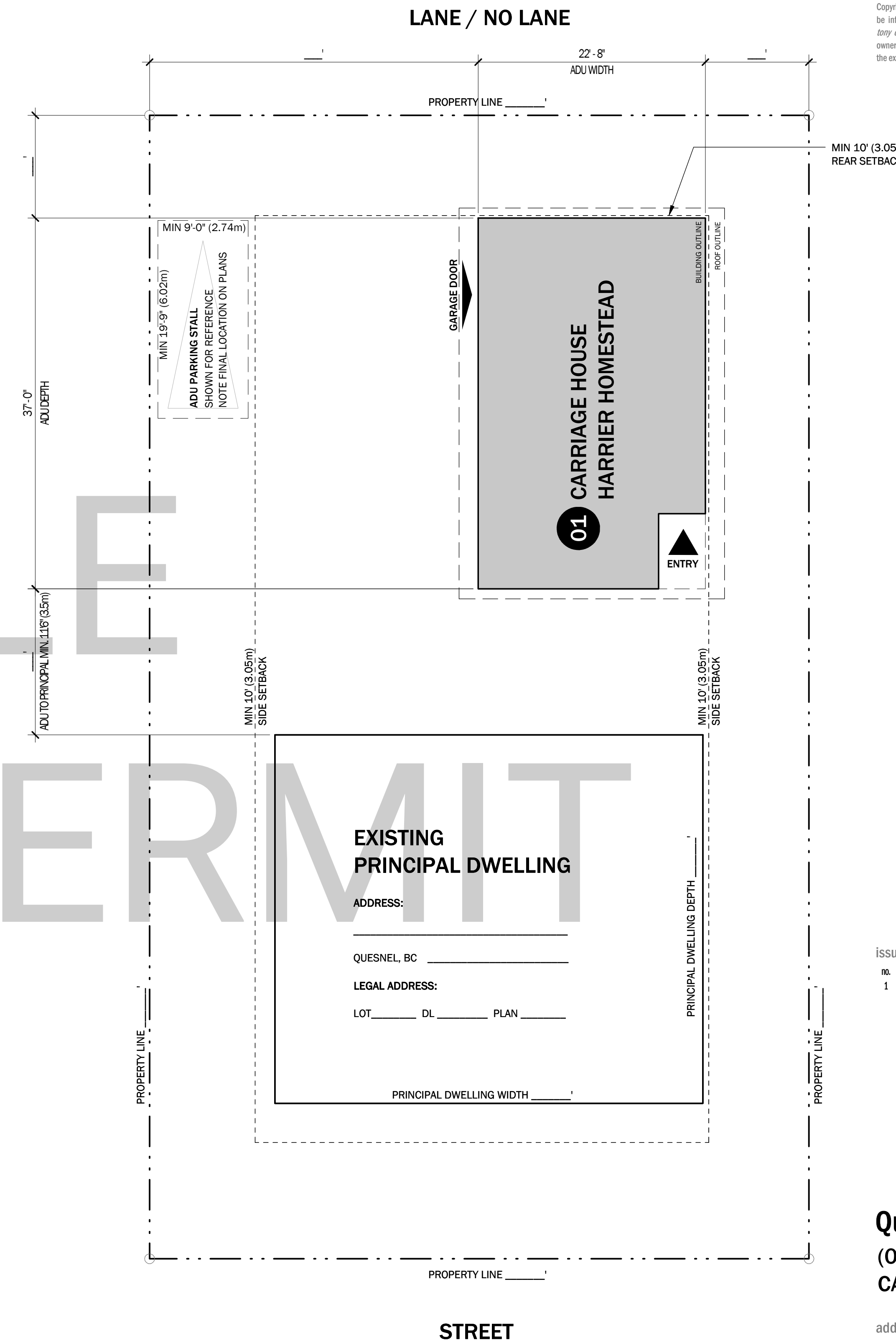
ASSEMBLIES (PER ASSEMBLIES PAGE)	
WALLS:	R-24 BATT INSUL. IN 2x6 @ 24" o.c.
ROOF:	R-40 BATT INSUL. IN 2x12 @ 24" o.c.
EXPOSED FLOOR:	R-28 BATT INSUL. IN 2x10 @ 16" o.c.
FOUNDATION WALLS:	8" CONCRETE w/ R-22 ICF BLOCK
SLAB ON GRADE:	R-12 FULL SLAB
AIR LEAKAGE:	2.5 ACH

HVAC	
HEATING/COOLING:	HEAT PUMP WITH CONDENSING GAS BACKUP
HOT WATER:	NATURAL GAS CONDENSING TANKLESS
	NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT
VENTILATION:	CRV 21 1/s

WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)	
	U 1.5 SHGC 0.3
	VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGI'S



**1 SITE PLAN - OPTION 1**  
1/8" = 1'-0"



**2 SITE PLAN - OPTION 2**  
1/8" = 1'-0"

issues / revisions:		
no.	issue / revision	date
1	Issued for BP	

## Quesnel ADU (01) HARRIER HOMESTEAD CARRIAGE HOUSE

address: \_\_\_\_\_ project no. \_\_\_\_\_

date: \_\_\_\_\_ scale: 1/8" = 1'-0"

## COVER SHEET & SITE PLAN OPTIONS 1 & 2

# H\_A000

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

drawn by: ER.MK.PIP  
checked by: TEO



# Quesnel ADU - 01 Harrier Homestead

ISSUED FOR BP

DATE

ADDRESS



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970sf CARRIAGE HOME BESIDE & OVER A 340sf SINGLE-CAR GARAGE WITH 2-BEDROOMS 1.5 BATHROOMS ACCESSORY TO PRINCIPAL DWELLING

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- H\_A000 COVER SHEET & SITE PLAN OPTIONS 1 & 2
- H\_A001 COVER SHEET & SITE PLAN OPTIONS 3 & 4
- H\_A002 NOTES & SCHEDULES
- H\_A003 ASSEMBLIES
- H\_A100 FLOOR PLANS
- H\_A200 BUILDING ELEVATIONS
- H\_A300 BUILDING SECTIONS

## ENERGY SUMMARY

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### ASSEMBLIES (PER ASSEMBLIES PAGE)

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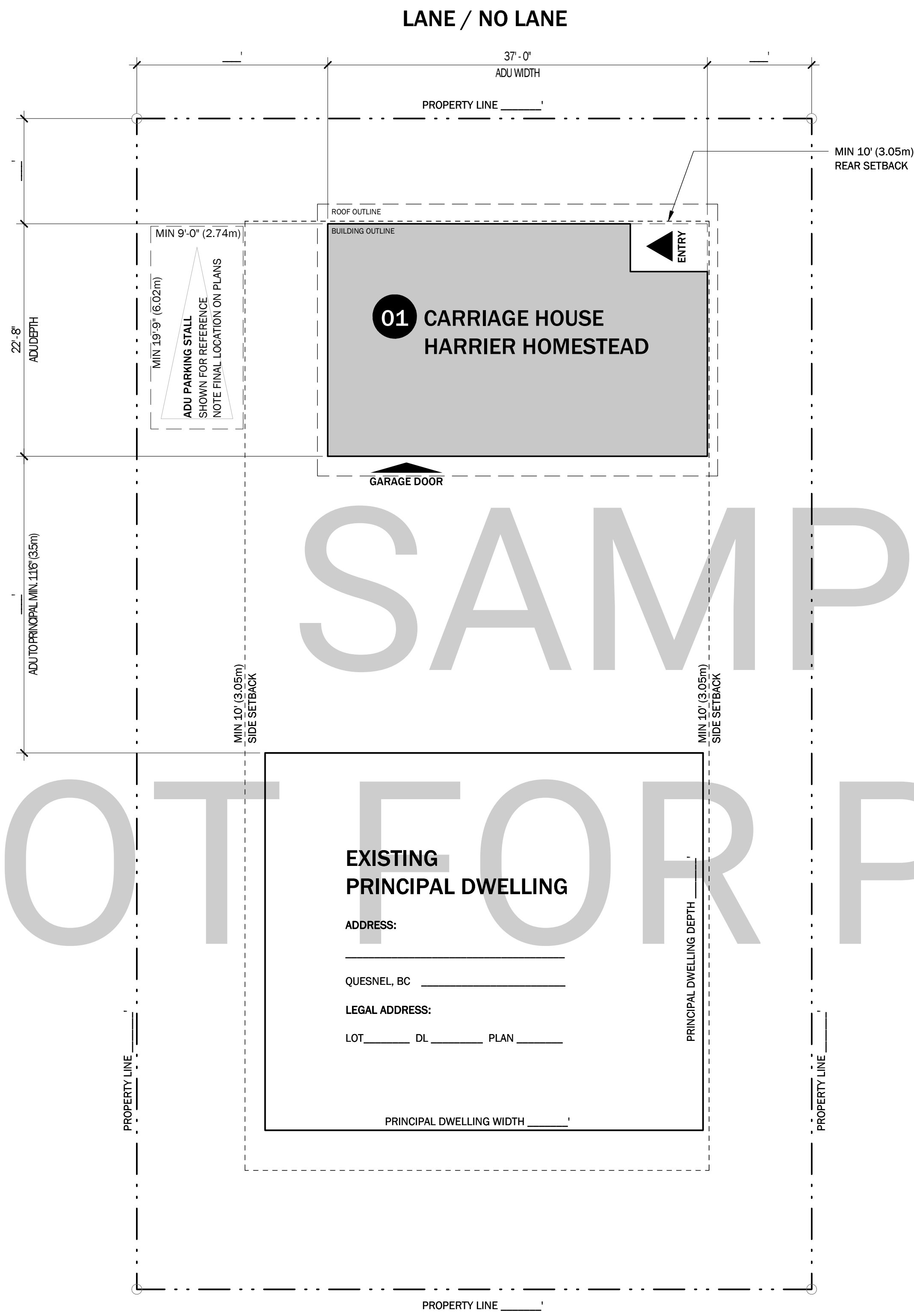
### HVAC

HEATING/COOLING:	HEAT PUMP WITH CONDENSING GAS BACKUP
HOT WATER:	NATURAL GAS CONDENSING TANKLESS
	NOTE: AN ELECTRIC TANK WOULD BE MORE EFFICIENT
VENTILATION:	CRV 21 V/s

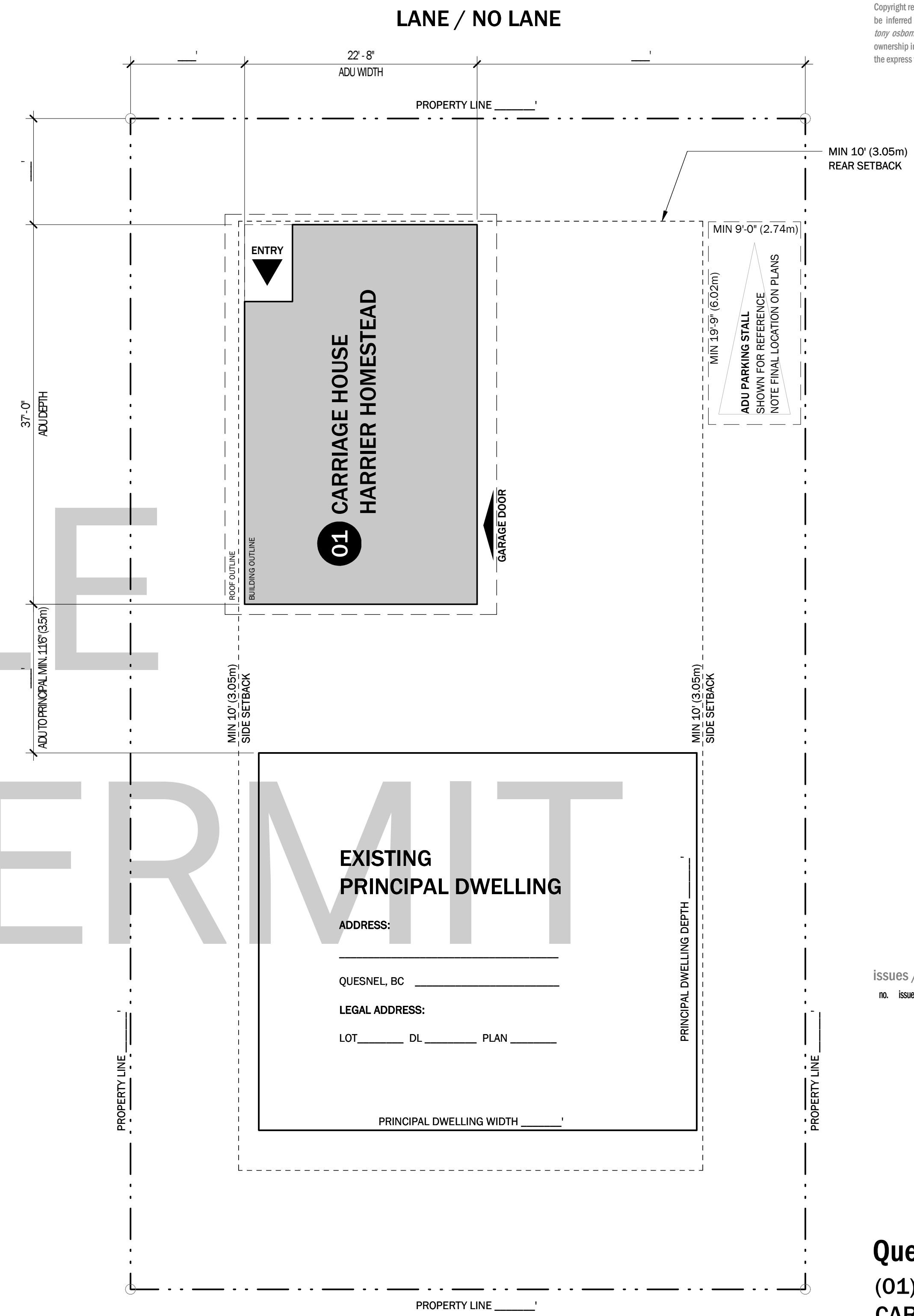
### WINDOWS & SLIDING DOORS (PER NOTES & SCHEDULES PAGE)

U	1.5 SHGC 0.3
VINYL FRAME, DOUBLE GLAZED ARGON-FILLED LOW-E IGI'S	

drawn by: ER.MK.PIP  
checked by: TEO



**1 SITE PLAN - OPTION 3**  
1/8" = 1'-0"



**2 SITE PLAN - OPTION 4**  
1/8" = 1'-0"

CHOOSE BETWEEN OPTIONS 1 THROUGH 4, CROSS OUT UNUSED OPTIONS

issues / revisions:  
no. issue / revision date

**Quesnel ADU**  
**(01) HARRIER HOMESTEAD**  
**CARRIAGE HOUSE**

address: \_\_\_\_\_ project no. \_\_\_\_\_

date: \_\_\_\_\_ scale: 1/8" = 1'-0"

**COVER SHEET & SITE**  
**PLAN OPTIONS 3 & 4**

**H\_A001**



## ABBREVIATIONS

ADJ ADJUSTABLE	N/A NOT APPLICABLE
A.F.F. ABOVE FINISHED FLOOR	NIC NOT IN CONTRACT
ALUM ALUMINUM	No. NUMBER
AMB AIR & MOISTURE BARRIER	NTS NOT TO SCALE
ANN ANNUNCIATOR PANEL	
ANOD ANODIZED	
ARCH ARCHITECTURAL	
B/B BACK TO BACK	o.c. ON CENTRE
BD BOARD	O.D. OVERFLOW DRAIN
BG BUILDING GRADE	OH OVER HEAD
BLDG BUILDING	OPP OPPOSITE
BLKG BLOCKING	OPNG OPENING
BOT / BTM BOTTOM	OS OVERFLOW SCUPPER
B.O. BOTTOM OF	OWSJ OPEN WEB STEEL JOIST
B/S BOTH SIDES	
CB CATCH BASIN	PKG PARKING
CC CLOSED CELL	PLAM PLASTIC LAMINATE
CG CORNER GUARD	PL PLATE
CJ CONTROL JOINT	PLY PLYWOOD
CL CENTRE LINE	PTD PAINTED
CLR CLEAR	POWCO POWDER COATED
C.O. CONCRETE OPENING	PT PRESSURE TREATED
COL COLUMN	P&S PEEL & STICK (SEE SAM)
CONC CONCRETE	
CONT CONTINUOUS	RB RUBBER BASE
c/w COMPLETE WITH	R.C.B. RUBBER COVE BASE
	RD ROOF DRAIN
DD DECK DRAIN	R.O. ROUGH OPENING
DF DRINKING FOUNTAIN	REQ'D REQUIRED
DIM DIMENSION	REQ REQUIREMENT
DN DOWN	RETN RETENTION
DWG DRAWING	REV REVERSE
	RM ROOM
E/A EXHAUST AIR	RWL RAIN WATER LEADER
E.G. EXISTING GRADE	
EJ EXPANSION JOINT	SAM SELF ADHERED MEMBRANE (PEEL & STICK)
ELEC ELECTRICAL	SECT SECTION
EL / ELEV ELEVATION	SIM. SIMILAR
EQ. EQUAL	SPEC SPECIFICATION
EQUIP/EQP EQUIPMENT	SQ SQUARE
E/S EACH SIDE	SS STAINLESS STEEL
EX / EXSTG EXISTING	STL STEEL
EXP. EXPANSION	STD STANDARD
EXTR EXTERIOR	STRUC STRUCTURAL
FD FLOOR DRAIN	T.O. TOP OF
F.D.C FIRE DEPARTMENT CONNECTION (OR CABINET)	TYP TYPICAL
F.E.C FIRE EXTINGUISHER CABINET	TRANS N TRANSITION
FF FOIL FACED	TWS TACTILE WARNING SURFACE
F.G. FINISHED GRADE	
FIN. FINISH	UNO UNLESS NOTED OTHERWISE
FLR FLOOR	U/S UNDERSIDE
FR FALL RESTRAINT	
FRMG FRAMING	VB VAPOUR BARRIER / RETARDER
	VCT VINYL COMPOSITION TILE
	VERT. VERTICAL
	VOSAM VAPOUR-OPEN SELF-ADHERED MEMBRANE
Ga GAUGE	w/ WITH
GALV GALVANIZED	w/o WITHOUT
G.I. GALVANIZED IRON	
GL GLAZING	WWM WELDED WIRE MESH
GSM GALVANIZED SHEET METAL	
GWB GYPSUM WALL BOARD / DRYWALL	
HB HOSE BIBB	
HORIZ HORIZONTAL	
HR HOUR	
HRX / HR EXT HANDRAIL EXTENSION	
HSS HOLLOW STEEL SECTION	
HWT HOT WATER TANK	
I.D. INSIDE DIAMETER (OR INTERIOR DESIGN)	
I.G. INTERPOLATED GRADE	
INSUL INSULATION	
INTR INTERIOR	
LA LANDSCAPE ARCHITECT	
LG LONG	
LOC LOCATION	
LS LANDSCAPE	
MAX MAXIMUM	
MECH MECHANICAL	
MIN MINIMUM	
M.O. MASONRY OPENING	

## SYMBOL LEGEND

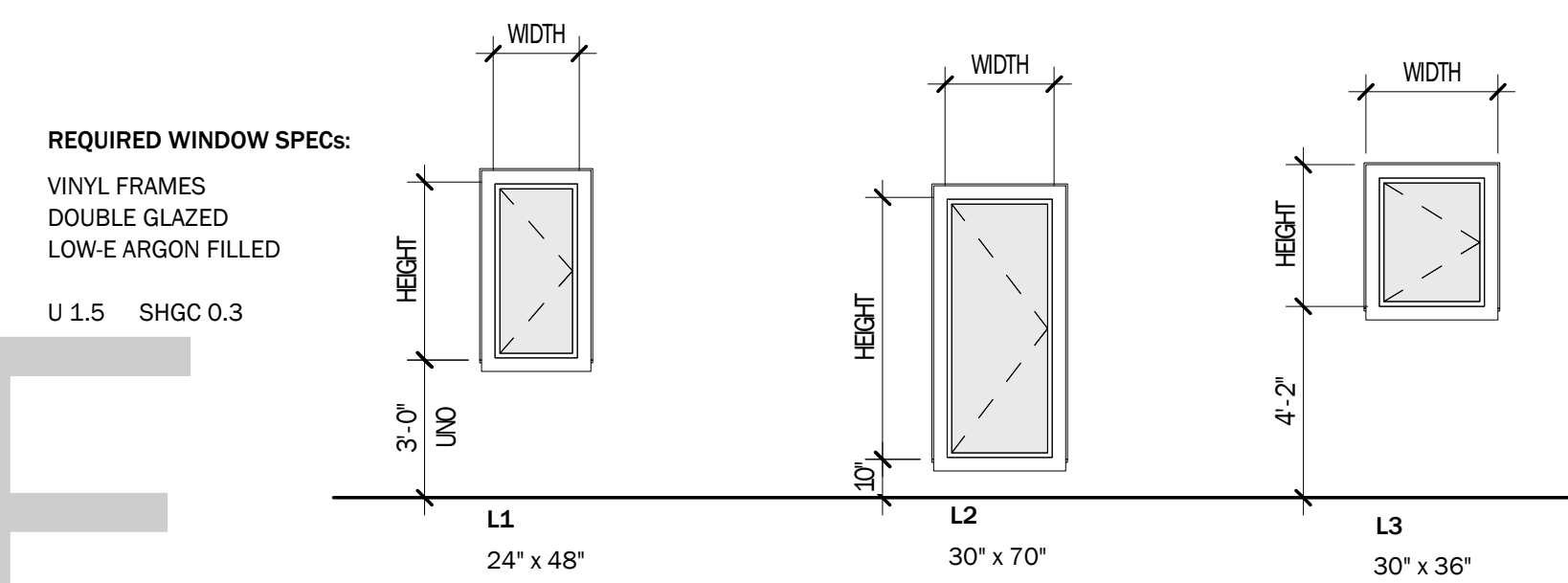
	DETAIL CALLOUT
	ELEVATION MARKER
	BUILDING SECTION MARKER
	WALL SECTION MARKER
	GRID LINE
	LEVEL MARKER
	SPOT ELEVATION MARKER
	NORTH ARROW
	REVISION CLOUD
	REVISION TAG
	ROOM TAG
	STAIR TAG
	DOOR TAG
	WINDOW TAG
	ASSEMBLY TAG (WALL, FLOOR, ROOF)
	CEILING TAG
	FINISH TAG
	RAILING TAG
	SMOKE DETECTOR
	SMOKE & CO2 DETECTOR
	DRAWING TITLE

## GENERAL NOTES

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED DRAWINGS.
- ALL WORK CARRIED OUT SHALL CONFORM TO BC BUILDING CODE 2018 (AND/OR APPLICABLE BYLAWS & REGULATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION).
- ALL PLANS MUST BE CHECKED AND APPROVED BY A QUALIFIED STRUCTURAL ENGINEER; AND SOIL ENGINEER IF NECESSARY.
- CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER.
- DESIGNER ASSUMES NO LIABILITY FOR ERROR, OMISSION, DEFICIENCY, DESIGN OR STRUCTURAL FLAW
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR ON SITE LOCATION OF BUILDING AND SERVICES. BUILDING SETBACKS TO BE CONFIRMED WITH SURVEYOR PRIOR TO CONSTRUCTION.
- ALL CONCRETE FORMWORK, SHORING FOR THE EXCAVATION AND UNDERPINNING OF ADJACENT STRUCTURES, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED IN ACCORDANCE WITH W.C.B. REGULATIONS.
- CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE, AND W.C.B. PAYMENT.
- OPENING SIZES FOR MANUFACTURED COMPONENTS TO BE VERIFIED WITH EACH INDIVIDUAL SUPPLIER OR MANUFACTURER.
- PROVIDE ALUM. / GALV. STEEL FLASHING OVER ALL EXTERIOR WALL OPENINGS, DOORS, WINDOWS, PARAPETS, ROOF CURES, AND AROUND ALL ROOF PENETRATIONS.
- CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH CONTINUOUS CLOSED CELL POLYETHYLENE DAMP-PROOFING STRIPS.
- PROVIDE MINIMUM 8" CLEARANCE BETWEEN FINISHED GRADE AND STUCCO, WOOD, OR ANY FINISHES.
- FACTORY BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO ULC S 610, "STANDARD FOR FACTORY BUILT FIREPLACES".
- PROVIDE CONTINUOUS MIN. 4" DIA. PERFORATED PLASTIC DRAIN PIPE WITH MIN. 6" CLEAN GRAVEL COVER TO ENTIRE PERIMETER OF BUILDINGS. CONNECT ALL ROOF, PATIO / DECK, PORCH, PARKING, AND FOUNDATION DRAINAGE TO STORM SEWER.
- PROVIDE 2 LAYERS OF BITUMINOUS DAMP-PROOFING OVER CONCRETE FOUNDATION WALLS IN CONTACT WITH GRADE, DOWN TO FOOTING.
- CEILING INSULATION SHALL NOT OBSTRUCT SOFFIT VENTILATION. STOPS OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND UNDERSIDE OF ROOF ASSEMBLY.
- FACTORY BUILT GLASS / PLASTIC SKYLIGHTS SHALL MEET PERFORMANCE REQUIREMENTS OF CGSP 63-GP-14M.
- ALL GLAZING EXTENDING LESS THAN 12" ABOVE FINISHED FLOOR SHALL BE TEMPERED.
- EXCEPT FOR SPRINKLERED BUILDINGS, PROVIDE WINDOW ACCESS TO THE EXTERIOR FOR ALL BEDROOMS CONFORMING TO BCBC SENTENCE 9.7.1.3 & 9.7.1.4.
- SMOKE ALARMS TO COMPLY WITH BCBC 9.10.19 & 9.36.2.20. INSTALL SMOKE ALARM / CARBON MONOXIDE DETECTOR CONFORMING TO ULC-S531 "STANDARD FOR SMOKE ALARMS" TO EACH STOREY.
- PROVIDE MECHANICAL VENTILATION SYSTEM AT LEAST ONE HALF AN AIR CHANGE PER HOUR.
- ALL WALLS DIMENSIONED FROM FACE OF SHEATHING, DRYWALL, OR CONCRETE.
- WHERE SHOWN, MILLWORK AND CABINETS DIMENSIONED FROM FACE OF DRYWALL.
- GRID LINES ARE TO FACE OF CONCRETE, SHEATHING, OR DRYWALL.
- EXTERIOR WALL SHEATHING TO ALIGN WITH FACE OF CONCRETE.
- FRAMING LUMBER TO BE D.FIR #2 OR BETTER.
- STRUCTURAL CONCRETE TO BE 25MPa.
- PER BCBC 2018 9.19.1.2, PROVIDE VENTING OF ROOF CAVITY VIA UNOBSTRUCTED VENT AREA NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. ROOF VENTS TO BE DISTRIBUTED UNIFORMLY ON OPPOSITE SIDES OF THE BUILDING.

## O1 - HARRIER WINDOW SCHEDULE

Type Mark	Width	Height	Sill Height	Head Height	Count
L1	2'-0"	4'-0"	<varies>	<varies>	6
L2	2'-6"	5'-10"	0'-10"	6'-8"	1
L3	2'-6"	3'-0"	3'-6"	6'-6"	3



## O1 - HARRIER DOOR SCHEDULE

Mark	Width	Height	Material	Finish	Frame Material	Count	Comments
H1	3'-0"	6'-8"	I, STL		W	1	
H2	12'-0"	7'-11"	I, STL		-	1	
H3	9'-0"	7'-0"	V		V	1	
H4	2'-6"	6'-8"	I, STL		W	2	45min RATED, INSULATED, WEATHER STRIP, CLOSER
H5.1	2'-6"	6'-8"	SCW	P	W	1	
H5.2	2'-8"	6'-8"	SCW	P	W	3	
H5.3	2'-4"	6'-8"	SCW	P	W	1	
H6	3'-10"	6'-8"	SCW	P	W	1	ROWER LATCH
H7	2'-10"	6'-8"	W	P	W	1	
H8.1	5'-0"	6'-8"	W	P	W	4	
H8.2	4'-0"	6'-8"	W	P	W	2	
H9	2'-6"	6'-8"	SCW	P	W	2	

## ENERGY COMPLIANCE:

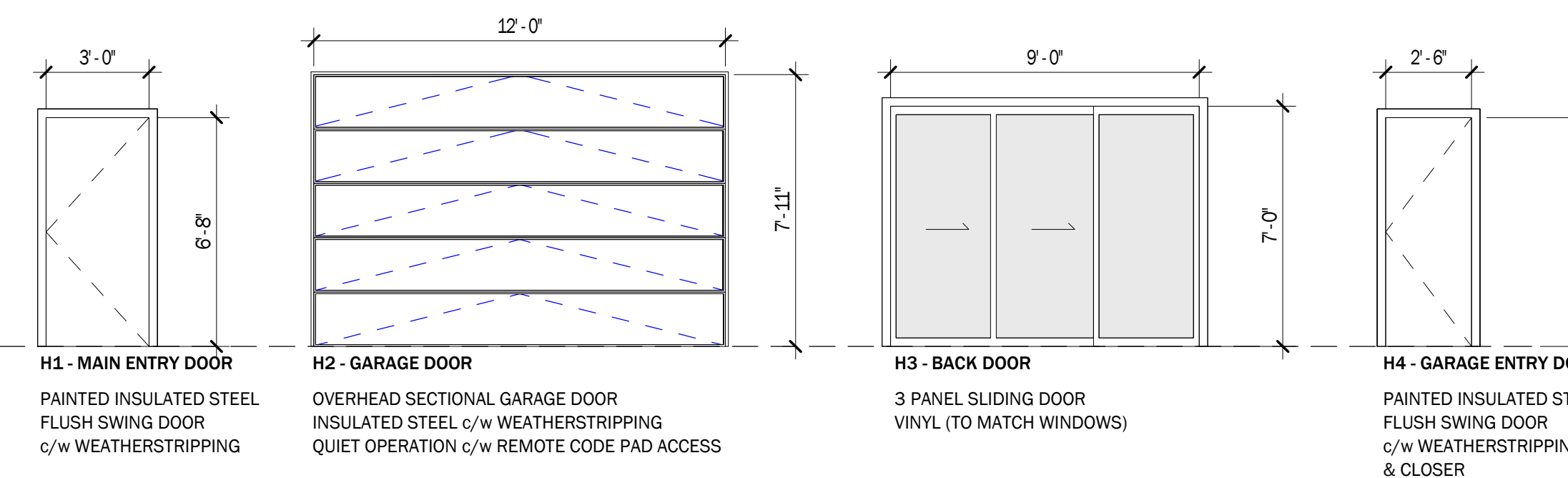
THIS PROJECT IS DESIGNED TO COMPLY & EXCEED STEP 3 OF THE BC ENERGY STEP CODE. SEE ENERGY SUMMARY ON COVER SHEET FOR DETAILS.

## AREAS SUMMARY:

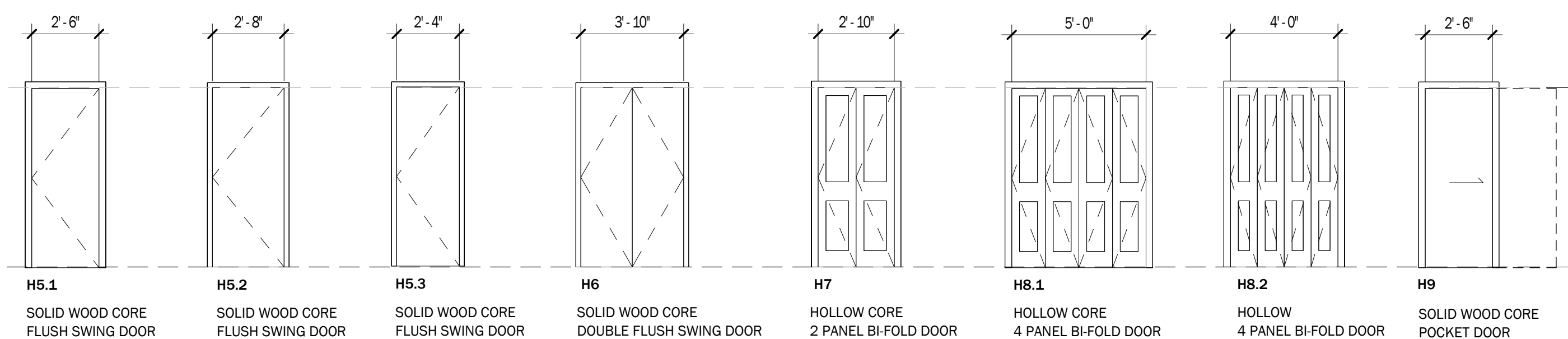
GROUND FLOOR	457.7 sf
Incl. STORAGE	24.0 sf
SECOND FLOOR	511.9 sf
<b>TOTAL DWELLING</b>	<b>969.6 sf</b>

excl. GARAGE 340.0 sf

## EXTERIOR DOORS



## INTERIOR DOORS



## Quesnel ADU (O1) HARRIER HOMESTEAD CARRIAGE HOUSE

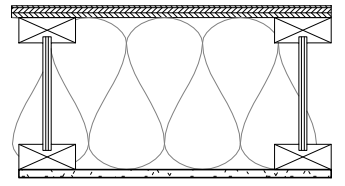

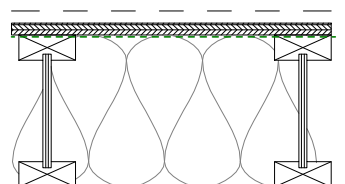
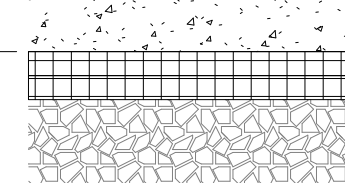
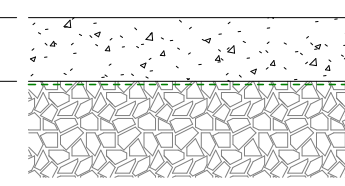
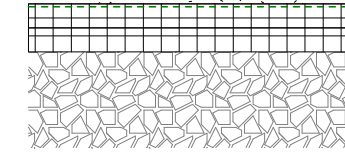
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date: \_\_\_\_\_ scale: 1/4" = 1'-0"

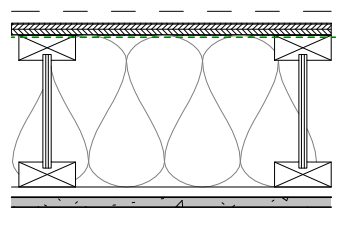
## NOTES & SCHEDULES



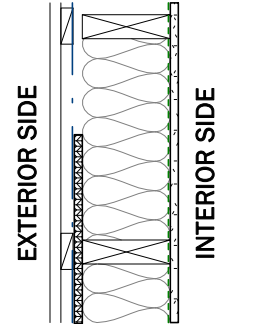
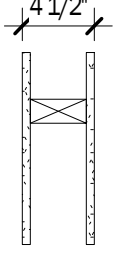
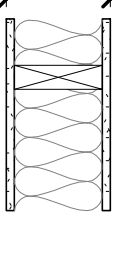
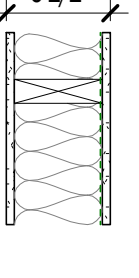
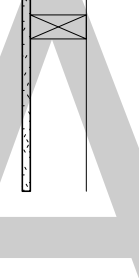
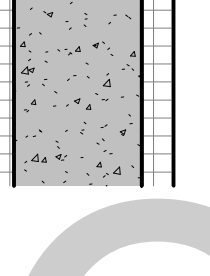
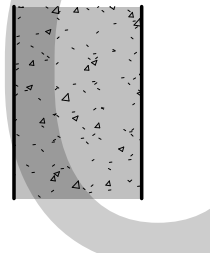
## FLOOR TYPES

	FRR	STC	Remarks
<b>F1</b>	0 h	n/a	
			
<b>TYPICAL FLOOR</b>			
<b>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT</b> 5/8" T & G PLYWOOD DECKING 2x10 OR TJI WOOD JOISTS @ 16 o.c. R-6 BATT INSULATION BETWEEN JOISTS 1/2" GWB			
<b>F2</b>	0 h	n/a	
			
<b>FLOOR OVER CRAWL SPACE</b>			
<b>FLOORING FINISH (TBD)</b> 5/8" T & G PLYWOOD DECKING 2x10 OR TJI WOOD JOISTS @ 16 o.c.			
<b>F3</b>	0 h	n/a	
			
<b>FLOOR OVER GARAGE</b>			
<b>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT</b> 5/8" T & G PLYWOOD DECKING VAPOUR BARRIER - SEAL ALL PLYWOOD BUTT JOINTS 2x10 OR TJI WOOD JOISTS @ 16 o.c. R-28 BATT INSULATION BETWEEN JOISTS 1/2" GWB			
<b>F4</b>	0 h	n/a	ENSURE TO PROVIDE RADON MITIGATION
			
<b>TYPICAL INSULATED SLAB ON GRADE</b>			
4" C.I.P. CONCRETE SLAB ON GRADE c/w WELDED MESH REINFORCEMENT 10 MIL POLY VAPOUR BARRIER SEALED AT ALL EDGES 3" RIDGID EPS (R-12) INSULATION MIN 6" COMPACTED GRAVEL			
<b>F5</b>	0 h	n/a	ENSURE TO PROVIDE RADON MITIGATION
			
<b>SLAB ON GRADE</b>			
4" C.I.P. CONCRETE SLAB ON GRADE c/w WELDED MESH REINFORCEMENT 10 MIL POLY VAPOUR BARRIER SEALED AT ALL EDGES MIN 6" COMPACTED GRAVEL			
<b>F6</b>	-	-	ENSURE TO PROVIDE RADON MITIGATION
			
<b>CONCRETE SLURRY - INSULATED @ CRAWL SPACE</b>			
1" CONCRETE SLURRY 10 MIL VAPOUR BARRIER SEALED @ ALL JOINTS 3" RIDGID EPS (R-12) INSULATION 6" MIN COMPACT GRAVEL MIN. 100mm 15MPa PORTLAND CEMENT CONCTRETE. (SEE 9.18.6.1)			

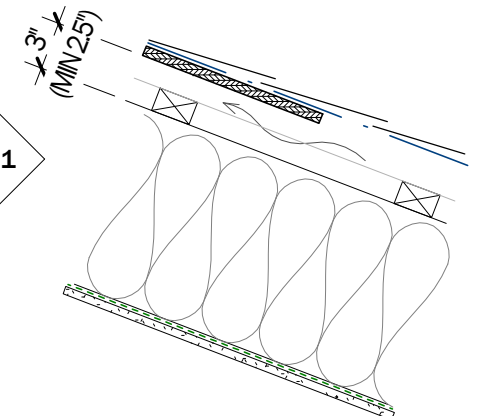
## SOFFIT TYPES

	FRR	STC	Remarks
<b>S1</b>	0 h	54 (IC 48)	FRR & STC REFERENCE: BCBC 2018 Table D-2.3.4-B & F, BCBC 2018 TABLE 9.10.3.1.1-B, E9d
			
<b>INSULATED SOFFIT OVER UNINSULATED SPACE</b>			
<b>FLOORING FINISH (TBD) c/w ACOUSTIC UNDERLAYMENT</b> 5/8" T & G PLYWOOD DECKING (BUTT JOINTS TO BE SEALED W/ CLEAR SEALANT) VAPOUR BARRIER PRE-ENG TJI OR 2x10 WOOD JOISTS @ 24" o.c. R-28 BATT INSULATION BETWEEN JOISTS AIR & MOISTURE BARRIER 1/2" CROSS STRAPPING SOFFIT FINISH c/w VENTS			

## WALL ASSEMBLIES

	FRR	STC	Remarks / Reference
<b>WE1</b>	0 h	n/a	
			
<b>EXTERIOR WALL (RATED)</b>			
CLADDING PER ELEVATIONS 1/2" x 2" FT PLYWOOD STRAPPING @ 16" o.c. INSTALLED OVER STUDS AIR & MOISTURE BARRIER (TYEYK RAINSCREEN) - TAPE ALL JOINTS (TRANSITION TO VAPOUR & AIR BARRIER @ ROOF - PRE-STRIP TOP PLATES) 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 24" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL UV RATED POLY VAPOUR BARRIER 1/2" GWB			
<b>P1</b>	0 h	n/a	
			
<b>TYPICAL INTERIOR 2x4 PARTITION WALL</b>			
1/2" GWB 2x4 WOOD STUDS @ 16" o.c. 1/2" GWB ADD BATT INSULATION AROUND WASHROOMS			
<b>P2</b>	0 h	n/a	
			
<b>INTERIOR 2x6 (PLUMBING) PARTITION WALL</b>			
1/2" GWB 2x6 WOOD STUDS @ 16" o.c. 1/2" GWB GWB AT INTERIOR FACE OF WASHROOMS TO BE: • PAPERLESS GWB, OR • TILE BACKER BOARD AT TILED AREAS			
<b>P3</b>	1 h	n/a	BCBC 2018 Appendix D Table D-2.3.4.- A & E
			
<b>INTERIOR 2x6 PARTITION WALL - GARAGE SEPERATION</b>			
5/8" TYPE 'X' GWB 2x6 WOOD STUDS @ 16" o.c. R-24 BATT INSULATION TO FILL CAVITY 6 MIL POLY VAPOUR BARRIER SEAL ALL EDGES (ON SUITE SIDE) 5/8" TYPE 'X' GWB			
<b>P5</b>	0 h	n/a	P5.0 2x2 P5.1 2x4 P5.2 2x6
			
<b>FURRING WALL</b>			
1 LAYER OF 1/2" GYPSUM BOARD 2x4 WOOD FRAMING @ 16" o.c. (SEE NOTES)			
<b>P6</b>	0 h	n/a	
			
<b>FOUNDATION WALL - INSULATED @ PERIMETER</b>			
8" C.I.P. REINFORCED CONCRETE WALLS ICF 2" RIDGID EPS (R-22) INSUL'N FORMS BOTH SIDES MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 34" x 34" x10" (SUPPORTING 2 FLOORS) POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)			
<b>P7</b>	0 h	n/a	
			
<b>FOUNDATION WALL - UNINSULATED</b>			
8" C.I.P. REINFORCED CONCRETE WALLS MINIMUM FOOTING SIZES: STRIP FTGs = 18" WIDE BY 10" POST FTGs = 34" x 34" x10" (SUPPORTING 2 FLOORS) POST FTGs = 25" x 25" x10" (SUPPORTING 1 FLOOR)			

## ROOF TYPES

	FRR	STC	Remarks
<b>R1</b>	0 h	n/a	
			
<b>SLOPED ROOF - VAULTED CEILING (R40)</b>			
STANDING SEAM METAL OR ASPHALT ROOF SHINGLES ROOFING FELT/MEMBRANE c/w EAVE PROTECTION 1/2" EXT. GRADE PLYWOOD SHEATHING 3" (MIN 2.5") AIR GAP 2x3 ON FLAT CROSS STRAPPING ENSURE ADEQUATE VENTING @ PERIMETER & RIDGE (SEE ROOF PLAN) PRE-ENG 11 7/8" TJI OR PARALLEL CHORD TRUSS OR 2x12 ROOF RAFTERS R-40 MIN. (11.5") BATT INSULATION 6 MIL. POLY AIR & VAPOUR BARRIER 1/2" GWB ROOF VENTING CAN ALSO BE ACHIEVED WITHOUT STRAPPING BY USING 14" PARALLEL CHORD TRUSSES OR TJIS AND LEAVING A 2.5" VENTILATION GAP FROM SHEATHING TO T.O. INSULATION.			

## GENERAL CONSTRUCTION NOTES

- SITE CONDITIONS:** THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND ORDERING MATERIALS. REPORT ALL SITE DISCREPANCIES IN WRITING TO DRAWING CONSULTANT.
- DIMENSIONS:** ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONFORMANCE:** WORK DONE AS PER CONTRACT DRAWINGS SHALL CONFORM TO THE BC BUILDING CODE 2018 AND ALL PROVINCIAL CODES & MUNICIPAL BYLAWS.
- CONSTRUCTION SAFETY:** THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCIAL AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
- INSURANCES:** THE CONTRACTOR SHALL MAINTAIN AT HIS COST ALL NECESSARY INSURANCES INCLUDING THOSE ASKED FOR BY THE PROPRIETOR. THE PROPRIETOR SHALL INFORM HIS FIRE INSURANCE CO. OF WORK TO BE DONE.
- SITE PREPARATION:** INSTALL TEMPORARY DUSTPROOF PARTITIONS & ACCESS AROUND THE WORK AREA.
- DEMOLITION:** CARRY OUT ALL DEMOLITION NECESSARY TO COMPLETE THE WORKS. SUPPLY TEMPORARY SUPPORTS WHERE REQUIRED AS PER CODES & NORMS. REPAIR ADJACENT SURFACES.
- MATERIALS:** ONLY NEW MATERIALS SHALL BE USED. ALL MATERIALS SHALL BE INSTALLED AND / OR APPLIED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- SCHEDULING:** IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE PROPER SEQUENCE, COORDINATION AND PHASING OF CONSTRUCTION TO MEET CLIENT'S CONSTRUCTION COMPLETION DEADLINE. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE TO DRAWING CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WINDOWS AND DOORS** ARE NOTED AS NOMINAL SIZES. ROUGH OPENINGS TO BE CONFIRMED WITH MANUFACTURER REQUIREMENTS.
- SHOP DRAWINGS:** FURNISH ALL SHOP DRAWINGS FOR APPROVAL. ALL CHANGES TO THE ORIGINAL DESIGN ARE TO BE APPROVED IN WRITING BY THE APPROPRIATE PROFESSIONALS
- BACKING:** PROVIDE BACKING IN STUD SPACE TO MECHANICALLY FASTEN GRAB BARS, HANDRAILS, GUARDRAILS, WALL-MOUNT ACCESSORIES, SHELVING & DISPLAY SYSTEMS TO SEISMIC AND STRUCTURAL REQUIREMENTS.
- ELECTRICAL SERVICE:** ELECTRICAL INFORMATION ON DRAWINGS IS FOR LAYOUT PURPOSES ONLY. ELECTRICAL CONTRACTOR TO ASSESS EXISTING SERVICE AND CONDITION. PROVIDE MODIFICATIONS AND UPGRADES TO SERVICE TO ACCOMMODATE PROPOSED DESIGN AS REQUIRED.
- ELECTRICAL PERMITS:** PROVIDE ELECTRICAL PERMIT FOR ELECTRICAL WORK INDICATED ON DRAWINGS. SUBMIT PERMIT & INSPECTION REPORTS TO ARCHITECT (AND CONSULTANT IF APPLICABLE).
- ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS,** ETC. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS & RECESSED CABINETS OR FIXTURES.
- FIRE SEPARATIONS:** THE DEMISING WALLS ARE TO REMAIN AS EXISTING. IT IS THE OWNER'S RESPONSIBILITY THAT THE FIRE RATING OF THE DEMISING WALLS ARE THE MINIMUM RATING AS REQUIRED BY THE CURRENT BUILDING CODE AND ALL CURRENT PROVINCIAL & MUNICIPAL BYLAWS & CODES.
- FIRE RATING:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AND MAINTAIN THE FIRE RATING OF THE STRUCTURAL ELEMENTS REQUIRED BY ALL CURRENT PROVINCIAL CODES & MUNICIPAL BYLAWS.

## INTERIOR WALL GENERAL NOTES

- ALL INTERIOR PARTITIONS ADJACENT TO WATER CLOSETS TO HAVE BATT INSULATION FULL HEIGHT FOR SOUND ATTENUATION.
- LEVEL 4 FINISH ON ALL INTERIOR GWB SURFACES (LEVEL 4 - JOINT COMPOUND ON JOINTS AND SCREW HEADS ONLY, SANDED SMOOTH)
- APPLY MILDEW RESISTANT SEALANT AROUND ALL WET AREAS INCLUDING BUT NOT LIMITED TO THE KITCHEN, BATH AND LAUNDRY TO FORM WATERTIGHT SEALS AROUND ALL FIXTURES, VANITIES, COUNTERTOPS, FAUCETS, DRAINS, ETC.
- ALL ACCESSIBLE AND ADAPTABLE UNITS TO HAVE 1/2" PLYWOOD LET INTO STUDS FROM 24" AFF TO 5'-0" AFF FOR GRAB BAR AND ACCESSORY MOUNTING IN WASHROOM

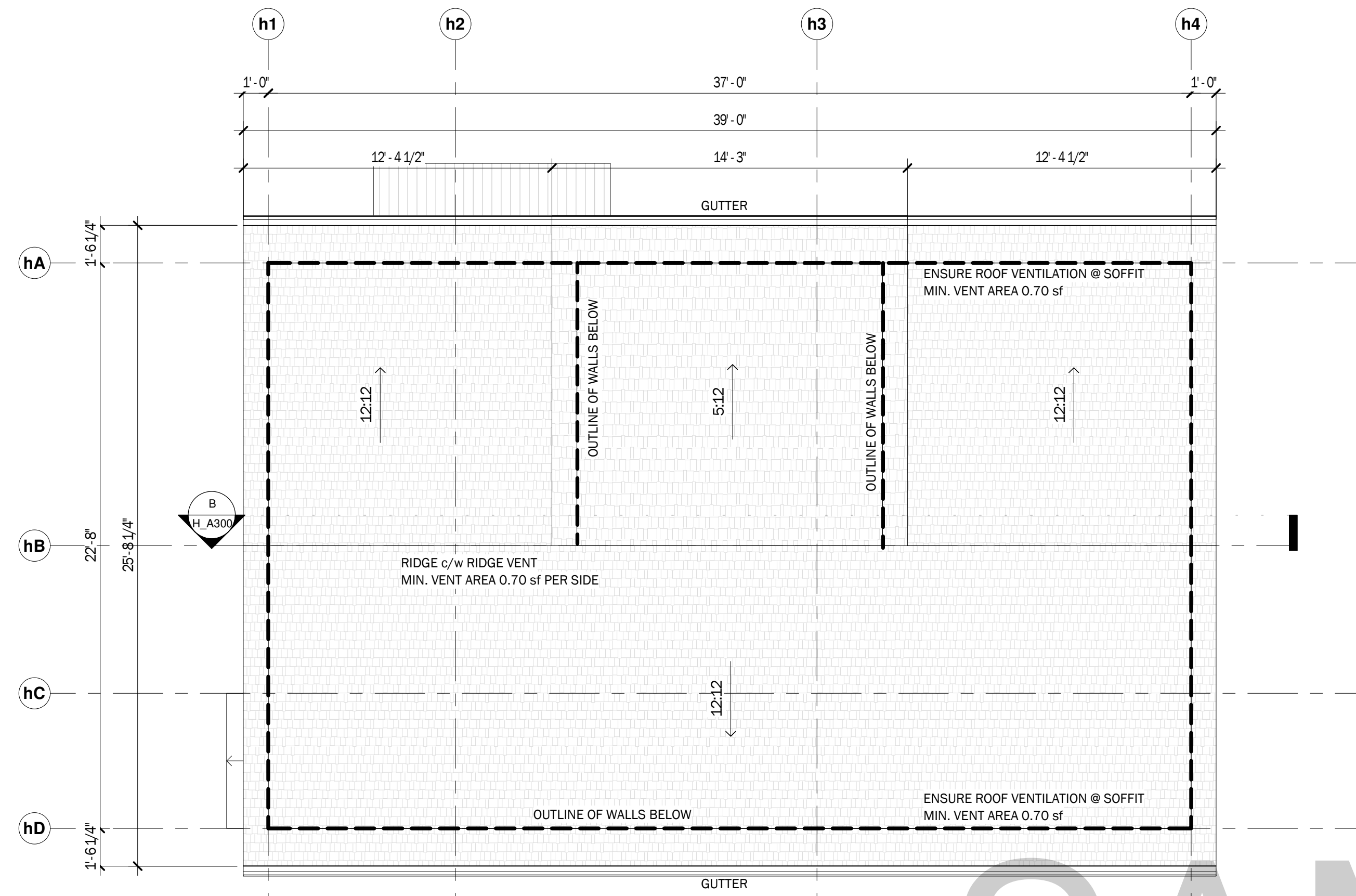
no.	issue / revision	date
1	Issued for BP	

## Quesnel ADU (01) HARRIER HOMESTEAD CARRIAGE HOUSE

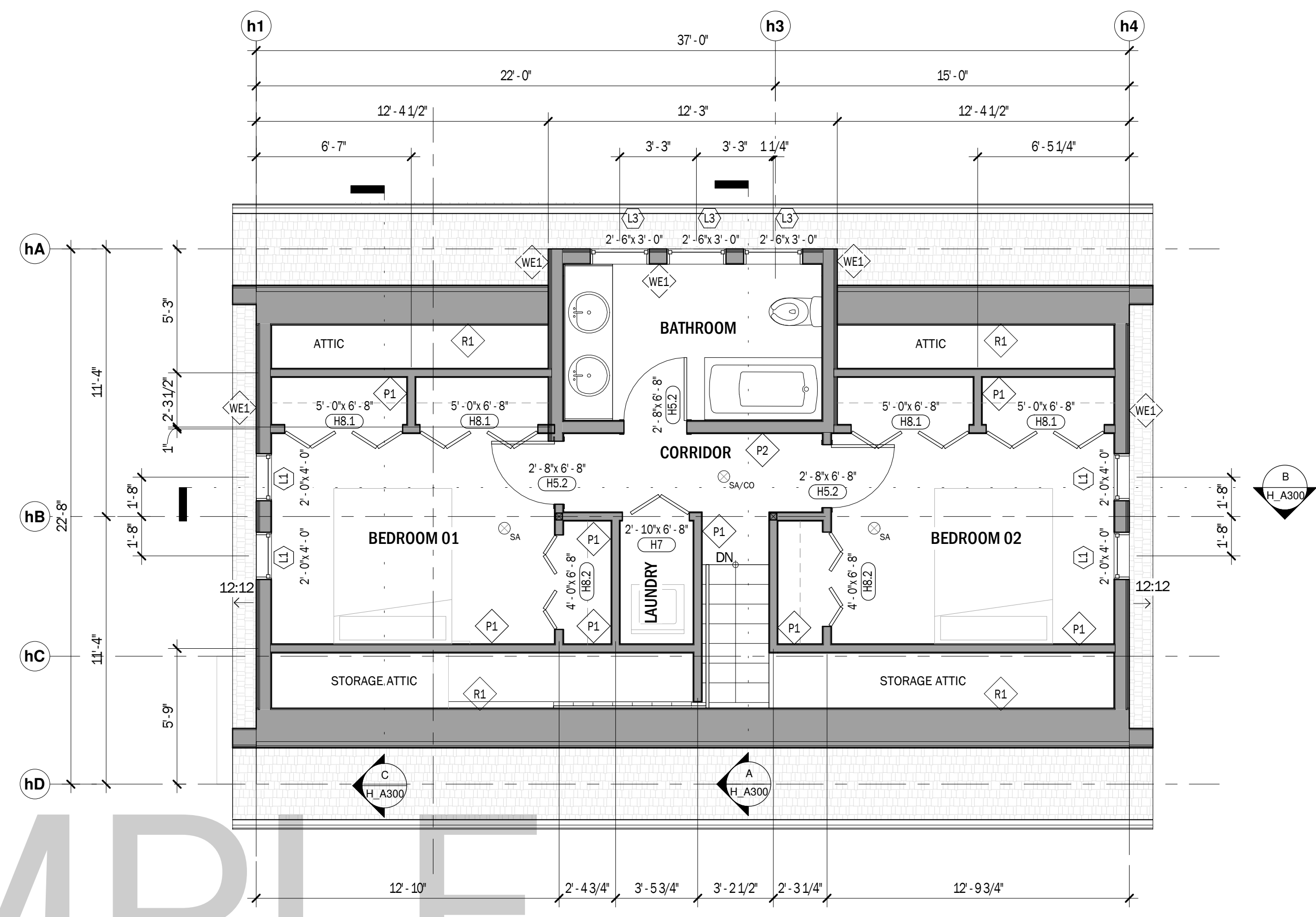
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## ASSEMBLIES

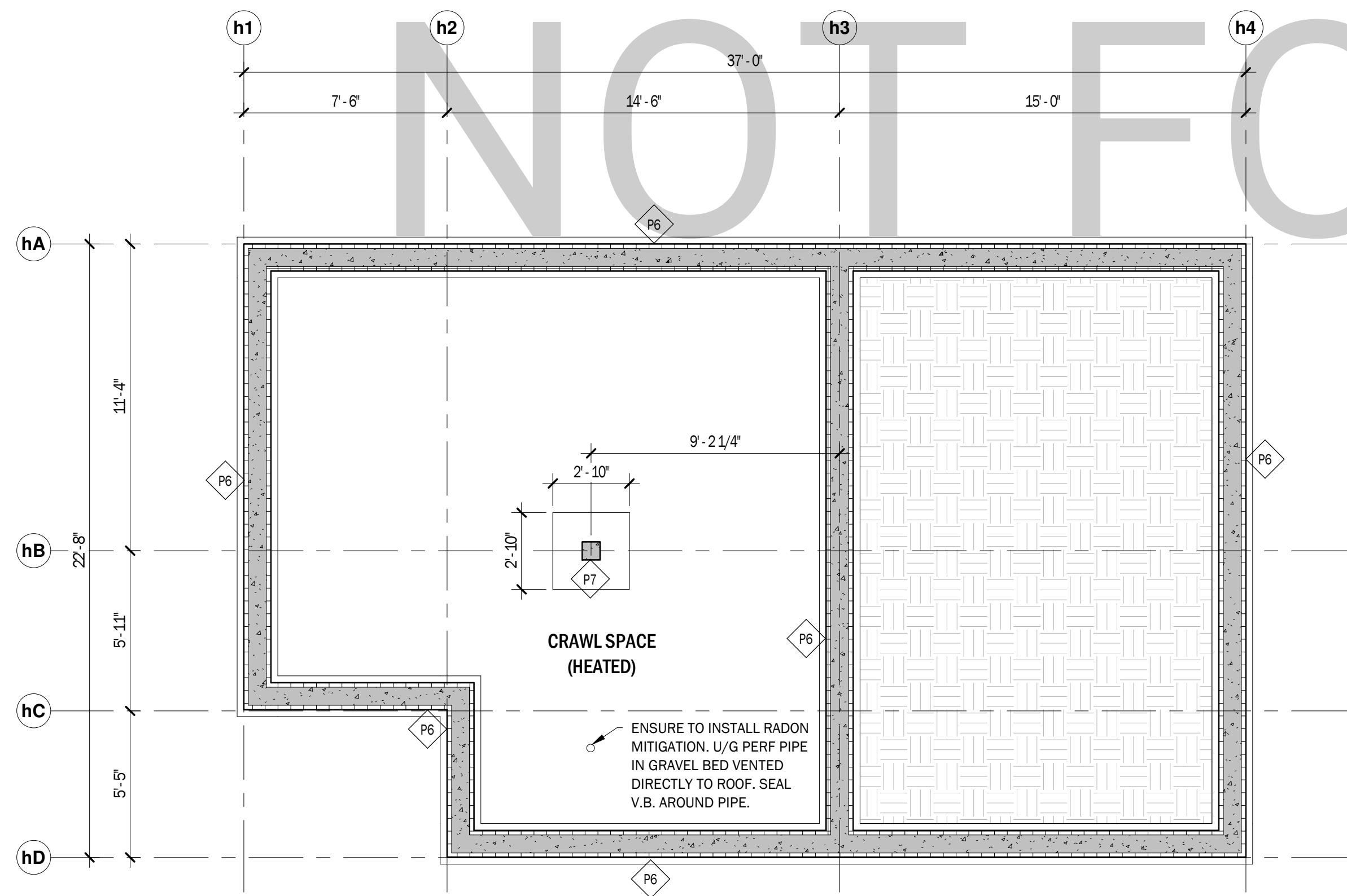
NOTE:  
1. ALL WALLS <P1> UNO



**3 ROOF PLAN**  
1/4" = 1'-0"

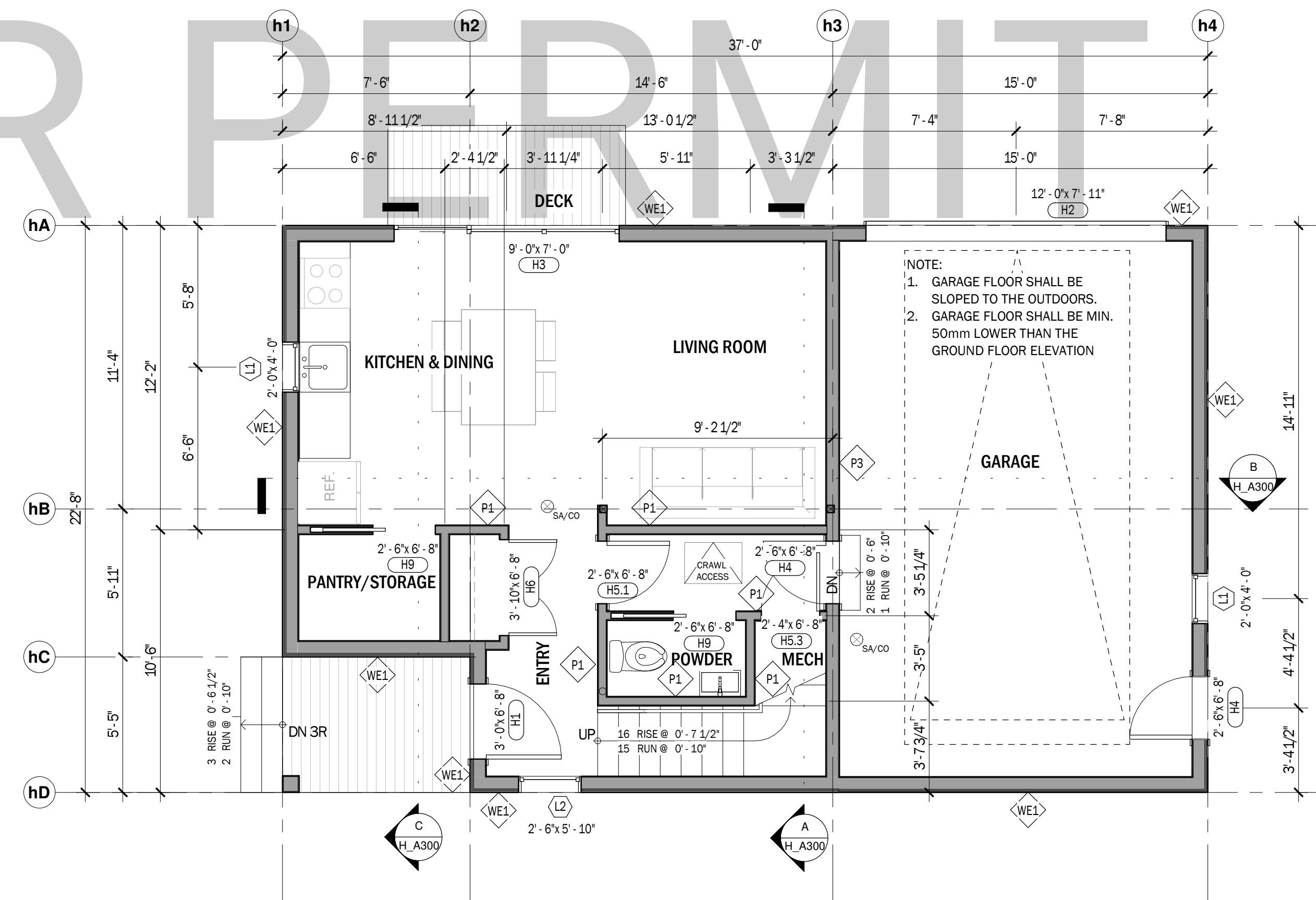


**2 SECOND FLOOR PLAN**  
1/4" = 1'-0"



**4 FOUNDATION PLAN**  
1/4" = 1'-0"

NOTE:  
WHERE UNHEATED CRAWL SPACE IS VENTILATED BY NATURAL MEANS, VENTILATION SHALL BE PROVIDED TO THE OUTSIDE AIR BY NOT LESS THAN 0.1 m² OF UNOBSTRUCTED VENT AREA FOR EVERY 50 m² OF FLOOR AREA. VENTS SHALL BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING AND DESIGNED TO PREVENT THE ENTRY OF SNOW, RAIN & INSECTS.



**1 GROUND FLOOR PLAN**  
1/4" = 1'-0"

ISSUES / REVISIONS:  
no. issue / revision date

issues / revisions:  
no. issue / revision date

**Quesnel ADU**  
**(01) HARRIER HOMESTEAD CARRIAGE HOUSE**

address: \_\_\_\_\_ project no. \_\_\_\_\_

date: \_\_\_\_\_ scale: 1/4" = 1'-0"

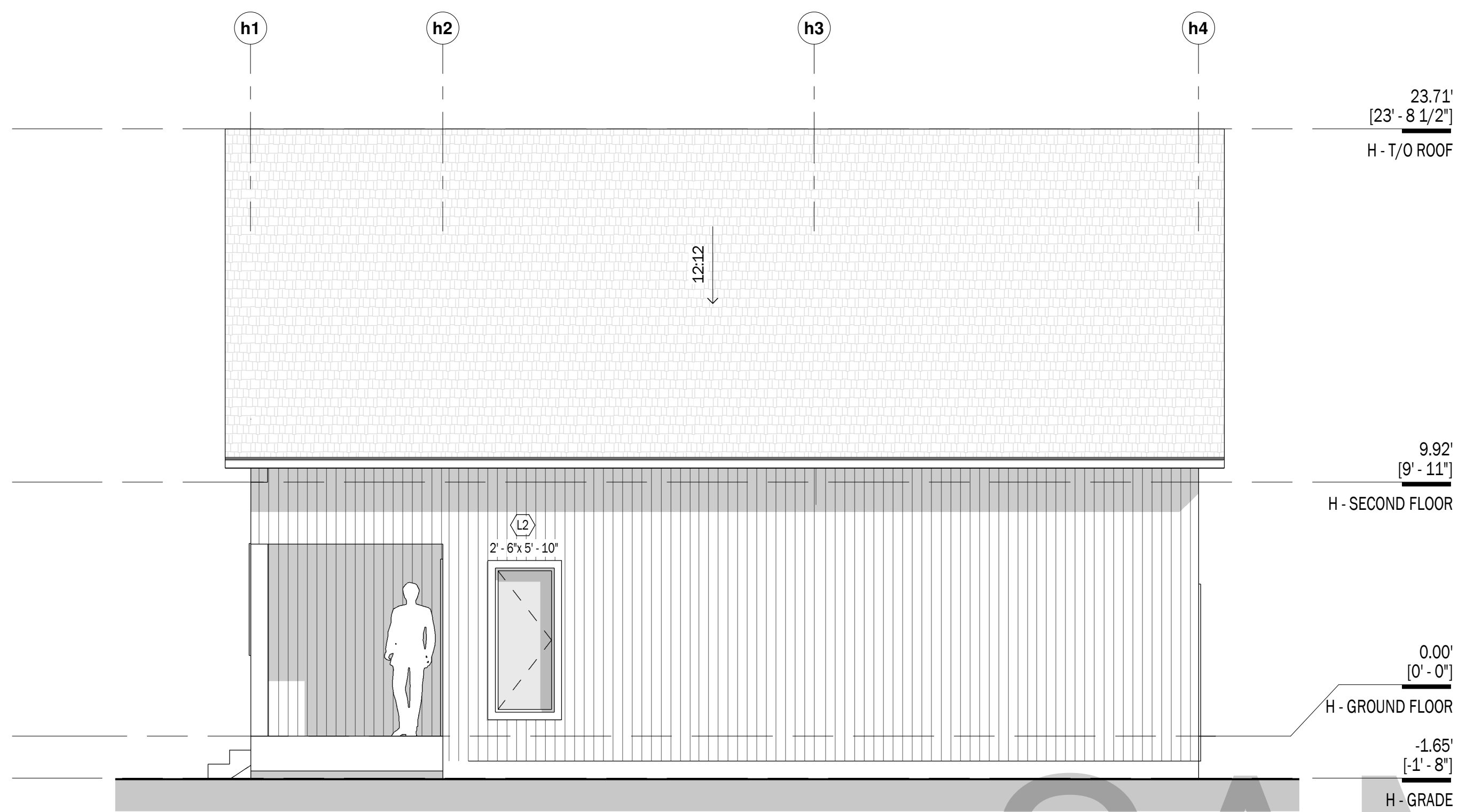
**FLOOR PLANS**

**H\_A100**

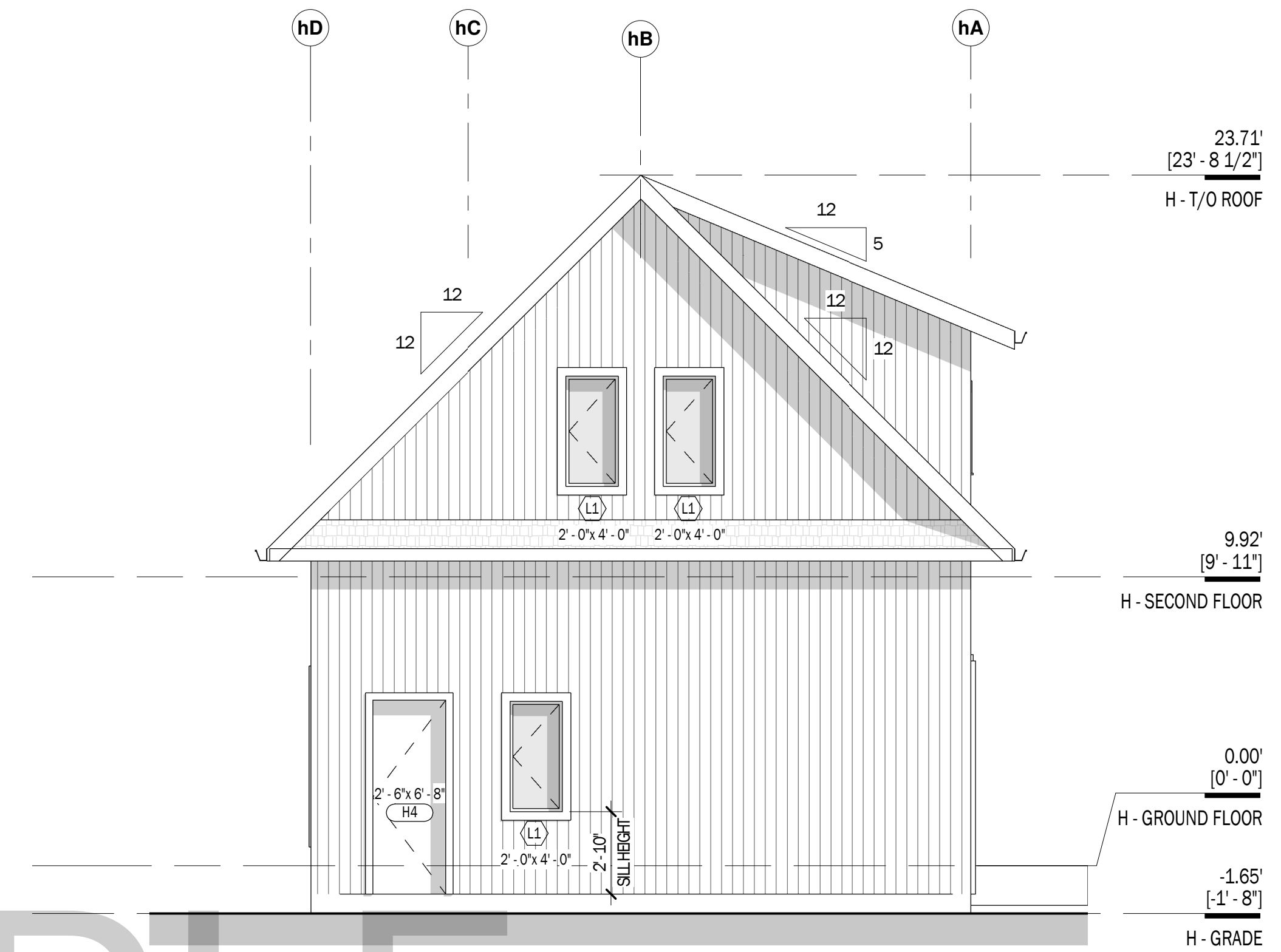
SAMPLE

NOT FOR PERMIT

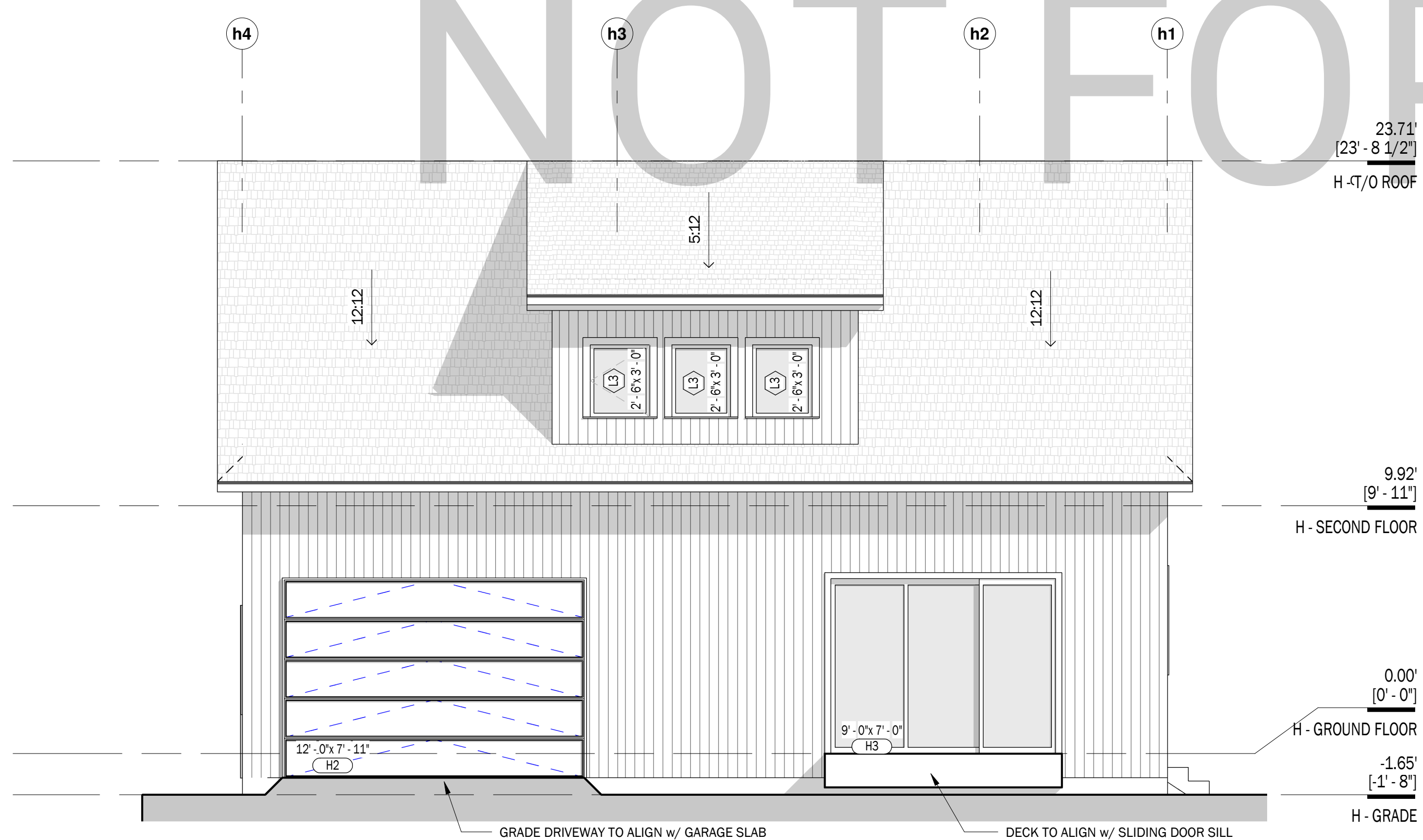




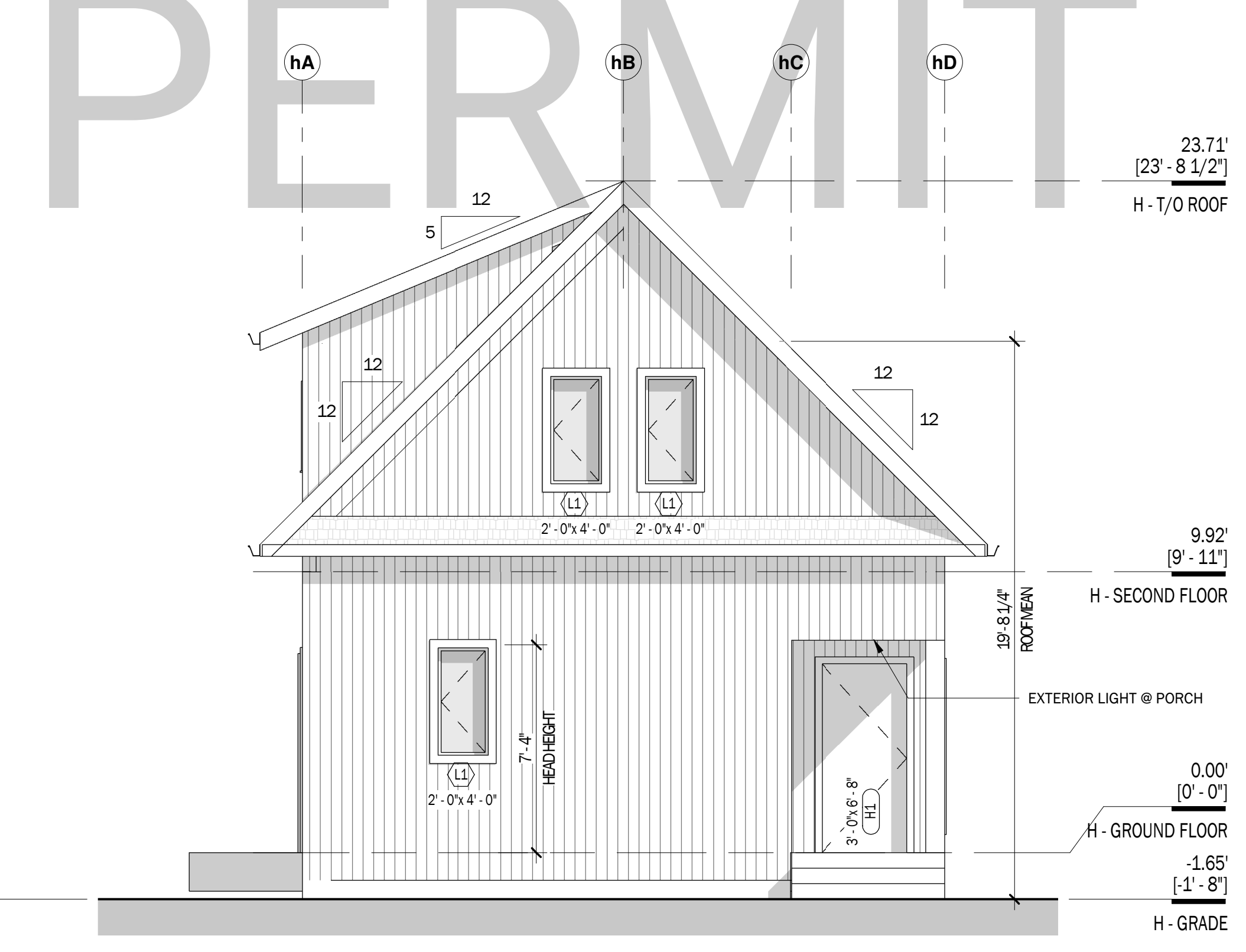
**4 ELEVATION 4**  
1/4" = 1'-0"



**3 ELEVATION 3**  
1/4" = 1'-0"



**2 ELEVATION 2**  
1/4" = 1'-0"



**1 ELEVATION 1**  
1/4" = 1'-0"

SAMPLE

NOT FOR PERMIT

issues / revisions:

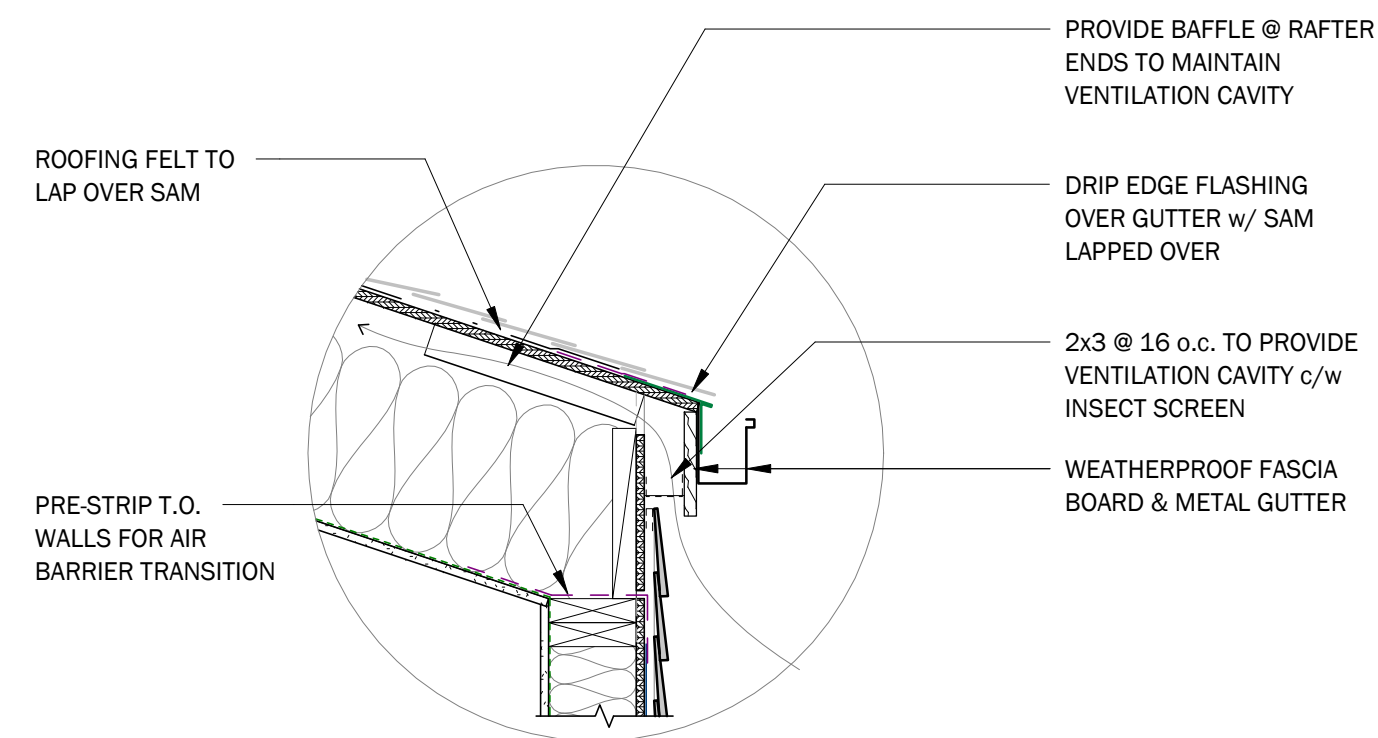
no.	issue / revision	date

**Quesnel ADU**  
**(01) HARRIER HOMESTEAD CARRIAGE HOUSE**

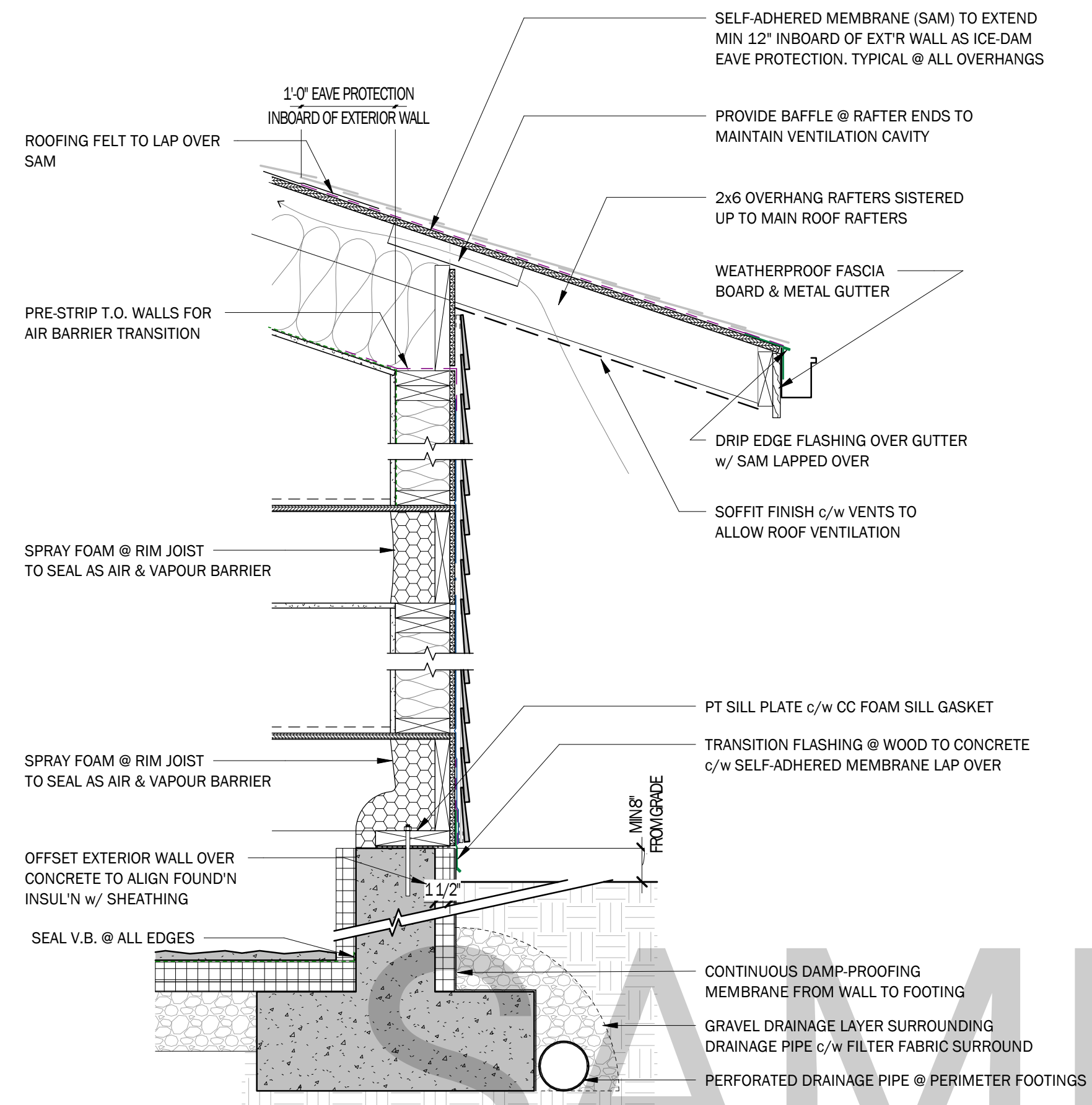
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**BUILDING ELEVATIONS**

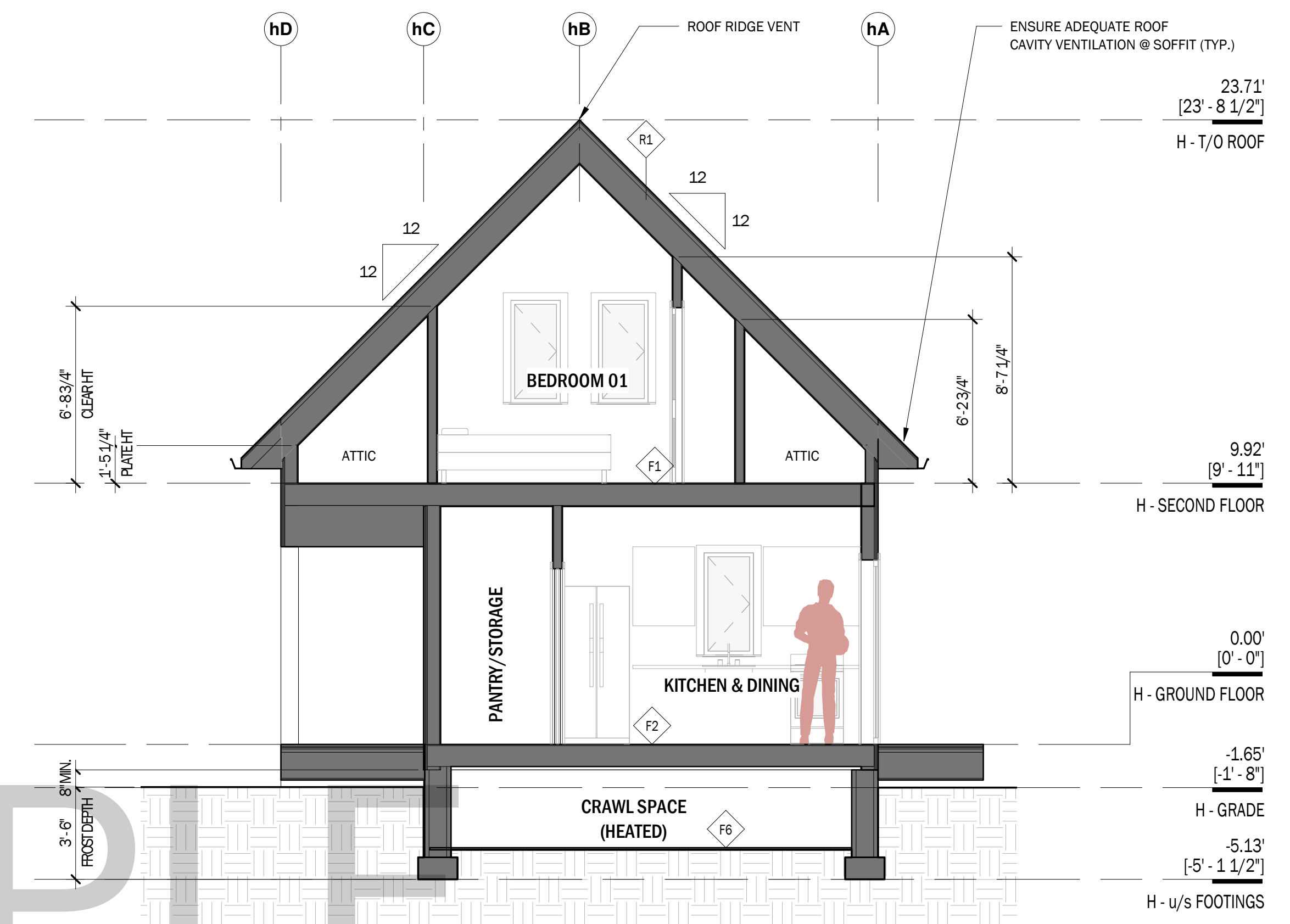
**H\_A200**



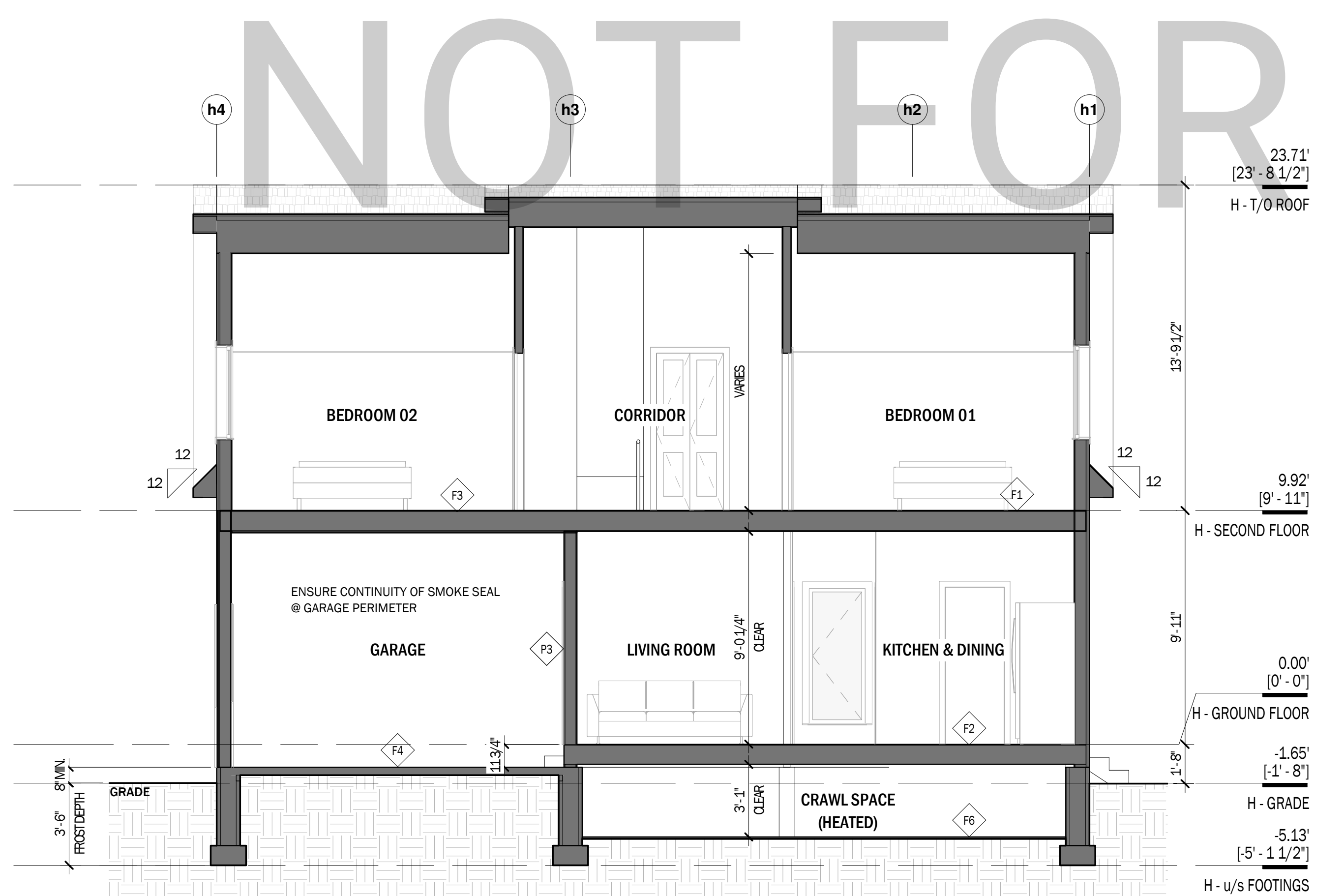
**NO OVERHANG OPTION**



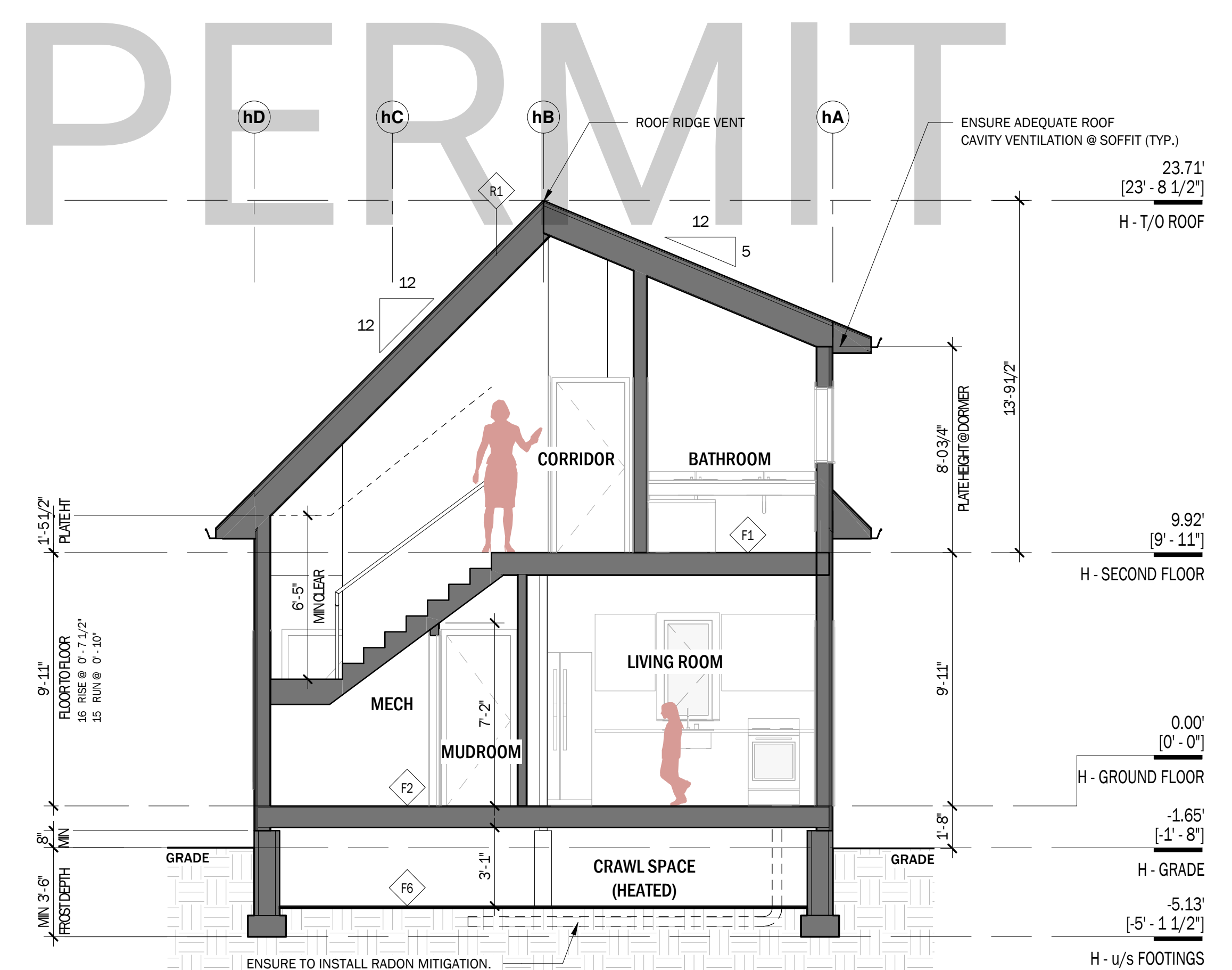
**1 TYP. WALL SECTION**  
1" = 1'-0"



**C SECTION C**  
1/4" = 1'-0"



**B SECTION B**  
1/4" = 1'-0"



**A SECTION A - THRU DORMER**  
1/4" = 1'-0"

NOT FOR PERMIT

issues / revisions:  
no. issue / revision date

**Quesnel ADU**  
**(01) HARRIER HOMESTEAD**  
**CARRIAGE HOUSE**

address: \_\_\_\_\_ project no. \_\_\_\_\_  
date: \_\_\_\_\_ scale: \_\_\_\_\_  
As indicated

**BUILDING SECTIONS**

**H\_A300**